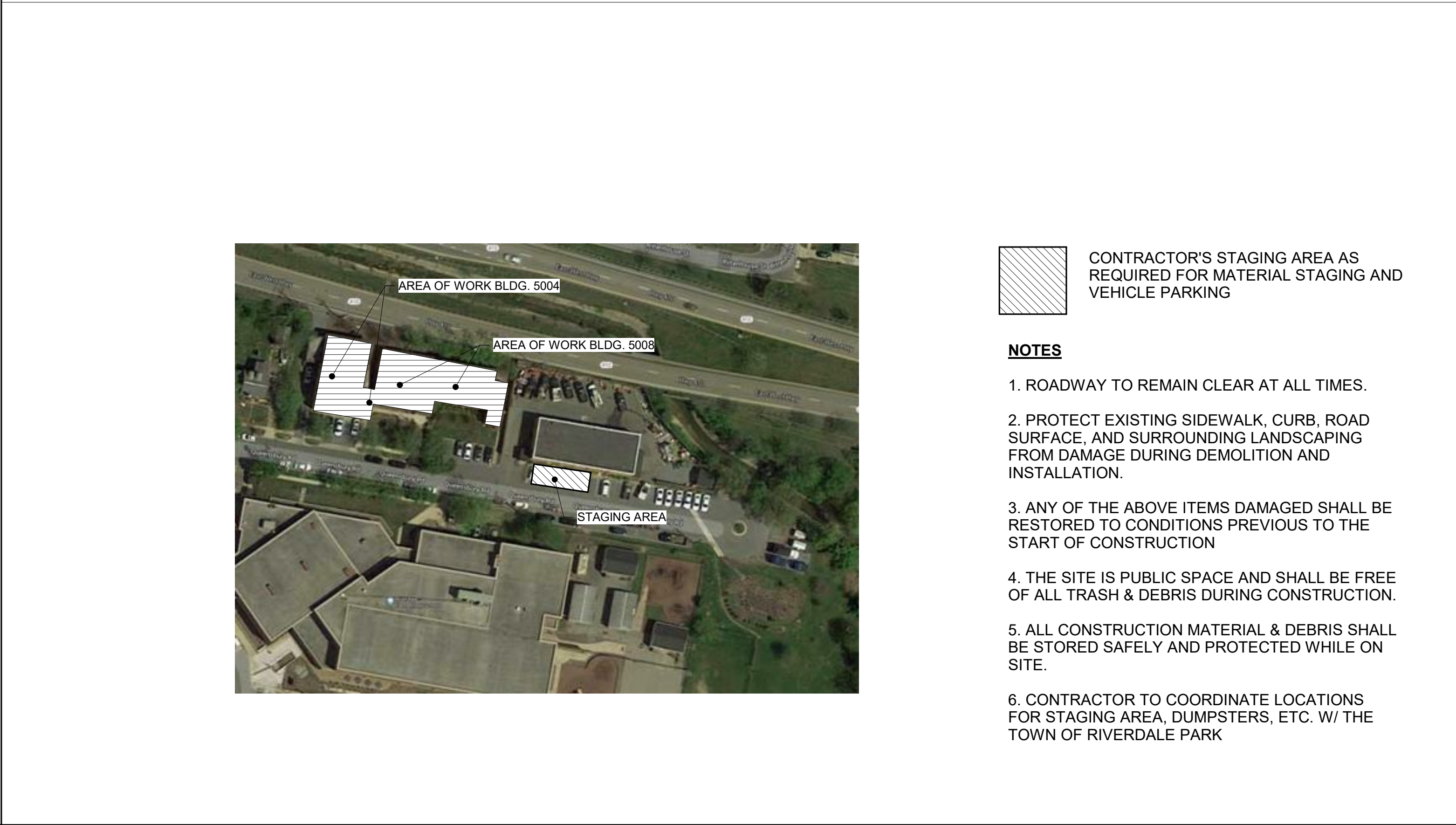


STANDARD ABBREVIATIONS					
ABOVE	ABV	EXTERIOR INSULATION	EIFS	PAINTED	PT
ABOVE FINISH FLOOR	AF	FINISH SYSTEM	FAS	PAPER TOWEL DISPENSER	PR
ACCESSIBLE	ACC	FASTEN (ER)	FAT	PARALLEL	PDR
ACOUSTIC or ACOUSTICAL	ACT	FEET OR FOOT	FT	PARTITION	PAR
ACOUSTICAL CEILING TILE	AC	FEMININE NAPKIN DISPOSAL	FND	PERPENDICULAR	PTN
ADHESIVE	ADH	FIELD VERIFY	FV	PERFORATE	PERP
ALTERNATE	ALT	FINISH	FIN	PLASTIC OR PLASTER	PLAS
ALUMINUM	ALUM	FINISH FLOOR	FF	PLATE	PLA
ANCHOR BOLT	AB	FIRE CODE	FC	PLYWOOD	PWD
ANGLE	ANG	FIRE EXTINGUISHER	FE	POWER ACCUTED	PAF
ANODIZE(D)	ANOD	FIREPROOFING	FP	FASTENER	
APPROXIMATE	APPROX	FLASHING	FLASH	PREENGINEERED	PRE-ENG
ARCHITECT(URAL)	ARCH	FLOOR	FLO	PREFABRICATED	PREFAB
AT	@	FLUORESCENT	FLUOR	PREFINISH	PREFIN
BABy CHANGING STATION	BCS	FOOTING	FTG	PROPERTY LINE	PL
BEAM	BM	FOUNDATION	FND	QUARRY TILE	QT
BEARING	BRG	FULL SCALE	FS	RADIATOR or RADIUS	RD
BELOW	BE	FURNISH	FURN	RAIN LEADER	RL
BELOW FINISH FLOOR	BFF	FURRING	FUR	RECOMMENDATION	RECOM
BITUMINOUS	BIT	GALVANIZED	GALV	REFERENCE	REF
BLOCK	BLK	GALVANIZED IRON	GI	REFRIGERATOR	REFR
BLOCKING	BLKG	GAUGE	GA	REINFORCE (ING) (ED)	REINF
BOARD	BD	GLASS	GL	REINFORCED CONCRETE	RC
BOTTOM	BOT	GRAB BAR	GB	REQUIRE	REQ'D
BOTTOM OF DECK	BOD	GRADE	GD	RESILIENT	RES
BOTTOM OF FOOTING	BOF	GYPNUM	GYP	RETURN	RET
BUILDING	BLDG	GYPNUM WALL BOARD	GWB	REVISE	REV
BUILT UP ROOF	BUR	HARDWARE	HDW	RISE	R
BULKHEAD	BLKHD	HEATING	HTG	ROOF DRAIN	RD
CABINET	CAB	HEATING/VENTING and	HVAC	ROOFING	RF
CARPET (ED)	CPT	AIR CONDITIONING		ROOM	RM
CARPET EDGE	CE	HEAVY DUTY	HD	ROUGH OPENING	RO
CAST IRON	CI	HEIGHT	HT	SANITARY NAPKIN	SND
CEILING	CLG	HIGH	H	DISPENSER	
CEMENT	CEM	HOLLOW CORE	HC	SCHEDULE	SCHED
CENTER	CTR	HOLLOW METAL	HM	SECTION	SECT
CENTER LINE	CL	HORIZONTAL	HORIZ	SHEATHING	SHGT
CERAMIC TILE	CT	HORIZONTAL CONTROL	HCJ	SHEET	SHT
CHAMFEL	CHAN	INCL	INCL	SIMILAR	SIM
CLEAR	CLR	INCLUDE	INCL	SOAP DISPENSER	SD
CLOSET	CLO or CLST	INSIDE DIAMETER	INSUL	SOLID CORE	SC
COLUMN	COL	INSULATION	INTER	SPECIAL	SPL
COMBINATION	COMB	INTERMEDIATE	INT	SPECIFICATION	SPEC
CONCRETE	CONC	INTERIOR	INT	SPASH BLOCK	SB
CONCRETE MASONRY UNIT	CMU	INVERT	JAN	SQUARE	SQ
CONSTRUCTION	CONSTR	JANITORS CLOSET	JT	SQUARE FOOT	SQ FT or SF
CONTINUOUS or CONTINUE	CONT	JOINT	KIT	SQUARE YARD	SQ YD or SY
CORNER JOINT	CJ	KITCHEN	LAM	STAIN (ED)	STD
CORNER GUARD	CG	LAMINATE (D)	LP	STAINLESS STEEL	SS
CORRIDOR	CORR	LAMINATED PLASTIC	LAV	STANDARD	STD
COUNTER SINK	CS	LAVATORY	LT	STEEL	STL
COURSE	CRS	LIGHT	LN FT	STORAGE	STOR
CUBIC	C	LINEAR FEET	LSD	STRUCTURAL	STRUCT
CUBIC FEET	CU FT or CF	LIQUID SOAP DISPENSER	LSD	STRUCTURAL FACING TILE	SFT
CUBIC YARD	CU YD or CY	LONG or LENGTH	LVR	SUSPEND (ED)	SUSP
CYLINDER	CYL	LOUVER	MFR	SYSTEM	SY
DEMOLITION or DEMOLISH	DEMO	MANUFACTURER	MAS	TELEPHONE	TEL
DETAIL	DTL	MASONRY	MO	TELEVISION	TV
DEEP or DEPTH	D	MASONRY OPENING	MATL	TERRAZZO	TZ
DIAMETER	DIA	MATERIAL	MATL	THICK	THK
DIMENSION	DIM	MAXIMUM	MECH	TO BE SELECTED	TBS
DIVISION	DIV	MECHANICAL	MTL	TOILET TISSUE DISPENSER	TTD
DOOR	DR	METAL	MT	TOLERANCE	TOL
DOUBLE	DBL	METAL THRESHOLD	MIN	TONGUE AND GROOVE	T&G
DOWN	DN	MINIMUM	MIR	TOP OF STEEL	T/S
DOWNSPOUT	DS	MIRROR	MISC	TOP OF FOOTING	TOF
DRAWING	DRWG or	MISCELLANEOUS	MOD	TREAD	T
DRINKING FOUNTAIN	DWVG	MODULAR	MBH	TREATED	TRD
EACH	DF	MOP AND BROOM HOLDER	MLDG	TRIPLE	TPL
EACH FACE	EA	MOLDING	MTD	TURN-DOWN SLAB	TD
EACH WAY	EF	MOUNTED	NAT	TYPICAL	TP
ELECTRIC or ELECTRICAL	EW	NATURAL	NOM	UNFINISHED	UNF
ELECTRIC WATER COOLER	ELEC	NOMINAL	NA	UNLESS NOTED	UNO
ELEVATION (GRADE)	EW	NOT APPLICABLE	NIC	OTHERWISE	
ENCLOSURE	ELEV	NOT IN CONTRACT	NVS		
ENCLOSURE	ENCL	NOT TO SCALE	NO or #	VERTICAL BASE	VERT
EQUAL	ENTR	NUMBER	OC	VERTICAL CONTROL JOINT	VCJ
EQUIPMENT	EQ	ON CENTER	OPNG	VINYL COMPOSITION TILE	VCT
ESTIMATE	EQUIP	OPENING	OPP	WATER CLOSET	WC
EXHAUST	EST	OPPOSITE	OD	WATER HEATER	WH
EXISTING	EXIS	OUTSIDE DIAMETER	OA	WATER RESISTANT	WR
EXISTING TO REMAIN	EXIST	OVERALL	OH	WATERPROOF (ING)	WP
EXPANSION BOLT	ETR	OVERHEAD		WEIGHT	WT
EXPANSION JOINT	EXP BT			WELED WIRE FABRIC	WWF
EXPOSED	EJ	NOTE:		WIDE or WIDTH	W
EXTENSION	EXP	ADDITIONAL ABBREVIATIONS USED IN		WITH	W/I
EXTERIOR	EXTEN	THESE			

ROOF REPLACEMENT
FOR
RIVERDALE PARK'S MUNICIPAL CENTER
5004 AND 5008 QUEENSBURY ROAD
RIVERDALE, MD 20737
STAGING AREA MAP



Sheet Number	Sheet Name	Revision
T1	TITLE SHEET	
D1	DEMOLITION PLAN	1
A1	ROOF PLAN - NEW WORK	1
A2	LOW SLOPE ROOF DETAILS	
A3	ASPHALT SHINGLE ROOF DETAILS	1
A4	DORMER PLAN, ELEVATIONS AND DETAILS	1
A5	DORMER SECTIONS	1

	SECTION
	ELEVATION
	DETAIL

	INTERIOR PARTITION TYPE: REFER TO PARTITION SCHEDULE
	DOOR TAG: REFER TO DOOR SCHEDULE
	WINDOW TAG: REFER TO WINDOW SCHEDULE

Diagram illustrating the format for window and door tags, showing three types of details: Section, Elevation, and Detail.

Section: The tag consists of a circle with a triangle on top. The top number (1) designates the location on the drawing. The bottom letter (A1) designates which sheet detail is shown. A reference note (SIM) is shown next to the tag.

Elevation: The tag consists of a circle with a triangle on top. The top number (1) designates the location on the drawing. The bottom letter (A101) designates which sheet detail is shown.

Detail: The tag consists of a circle with a triangle on top. The top number (1) designates the location on the drawing. The bottom letter (A1) designates which sheet detail is shown.

Interior Partition Type: The tag consists of a circle with a triangle on top. The top number (1) designates the location on the drawing. The bottom letter (A101) designates which sheet detail is shown. The reference note (101b) is shown next to the tag.

Door Tag: The tag consists of a circle with a triangle on top. The top number (1) designates the location on the drawing. The bottom letter (A101) designates which sheet detail is shown. The reference note (101b) is shown next to the tag.

Window Tag: The tag consists of a circle with a triangle on top. The top number (1) designates the location on the drawing. The bottom letter (A101) designates which sheet detail is shown. The reference note (101b) is shown next to the tag.

PROJECT NOTES

<p>1. CONTRACTOR AND ANY SUB-CONTRACTOR HAVING SUBMITTED PROPOSAL FOR THIS WORK SHALL BE HELD AS HAVING CLEAR AND COMPLETE UNDERSTANDING OF REQUIREMENTS FOR HIS WORK UNDER THE CONTRACT. CONTRACTORS ARE RESPONSIBLE AND LIABLE FOR SAFETY AND PROTECTION OF SITE, PROJECT, WORKMEN, SUB-CONTRACTORS, THE PUBLIC AND PUBLIC PROPERTY AGAINST INJURY OR DAMAGE OF ANY TYPE, FROM ANY CAUSE, UNTIL FINAL ACCEPTANCE OF PROJECT. HE SHALL CARRY INSURANCE TO FULLY PROTECT HIS INTEREST AND THOSE OF THE OWNER.</p> <p>2. ALL CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING THE WORK.</p> <p>3. ALL CONTRACTORS SHALL COORDINATE LOCATIONS, CLEARANCES, AND ELEVATIONS OF BUILDING STRUCTURE, HVAC WORK, ELECTRICAL WORK, LIGHT FIXTURES, MECHANICAL WORK, CEILINGS AND THE LIKE WITH THEIR RESPECTIVE WORK PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.</p> <p>4. ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES AND REGULATIONS AND SHALL BE INSTALLED ACCORDING TO THE JOINT REQUIREMENTS AND DECISIONS OF ALL LOCAL AUTHORITIES. IF ANY CONTRACTOR OR SUB-CONTRACTOR PERFORMS ANY WORK CONTRARY TO THE LOCAL BUILDING CODE AND ORDINANCES, RULES AND REGULATIONS, WITHOUT PRIOR WRITTEN NOTICE TO THE OWNER, HE SHALL BEAR ALL COSTS ARISING THEREFROM.</p> <p>5. EVERY EFFORT HAS BEEN MADE TO IDENTIFY THOSE DIMENSIONS WHICH REQUIRE FIELD VERIFICATION WITH + DIMENSIONS NOT SO NOTED ARE INTENDED TO BE HELD. ALL DIMENSIONS, HOWEVER, SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION OR INSTALLATION OF BUILDING COMPONENTS.</p> <p>6. DIMENSIONS SHOWN ARE FROM FACE OF FINISH OR FACE OF MASONRY WALL UNLESS OTHERWISE NOTED.</p> <p>7. COORDINATE WITH MECHANICAL AND ELECTRICAL REQUIREMENTS FOR CONDITIONS WHICH WILL DISTURB EXISTING CONDITIONS AND WHICH WILL REQUIRE SELECTIVE DEMOLITION PATCHING AND FINISHING.</p> <p>8. ALL EXISTING EXPOSED FINISHES IN AREAS OF WORK ARE TO BE PATCHED AND FINISHED TO MATCH SURROUNDING NEW SURFACES.</p> <p>9. CONTRACTOR TO COORDINATE BLOCKING REQUIREMENTS FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.</p>	<p>10. ADJACENT BUILDING SPACES NOT IN THE PROJECT AREA SHALL BE KEPT CLEAN AND PROTECTED. REMOVAL OF ALL EXISTING CONSTRUCTION, MECHANICAL AND ELECTRICAL EQUIPMENT AND FIXTURES SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE OF ADJOINING AREAS. ALL EXISTING WORK DISTURBED OR DAMAGED BY THE PROCESS OF DEMOLITION AND NEW CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER. EVERY MEANS SHALL BE USED BY EACH TRADE TO PROTECT THE WORK AND MATERIALS OF ALL OTHERS. IN THE EVENT OF DAMAGE, IMMEDIATE REPAIRS AND REPLACEMENTS SHALL BE MADE TO THE SATISFACTION OF THE ARCHITECT.</p> <p>11. THE AMOUNT OF DUST RESULTING FROM THE WORK SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO THE OTHER PORTIONS OF THE BUILDING. THE USE OF WATER WILL GENERALLY NOT BE PERMITTED. PROVIDE DROP CLOTHS, DUST CURTAINS OR OTHER SUITABLE BARRIERS TO PREVENT THE DUST TRAVELING TO OTHER PORTIONS OF THE BUILDING. SEAL OFF ALL RETURN AIR REGISTERS AND OTHER MECHANICAL SYSTEMS TO PREVENT DUST FROM ENTERING SUCH SYSTEMS. IN ALL AREAS WHERE CONSTRUCTION DIRT AND/OR DUST IS PRODUCED AS A RESULT OF THE WORK, SUCH AREAS SHALL BE VACUUMED AND/OR DAMP MOPPED WITH APPROPRIATE EQUIPMENT.</p> <p>12. MAINTAIN THE PREMISES FREE FROM ACCUMULATION OF WASTE, DEBRIS, AND RUBBISH CAUSED BY THE PROCESS OF DEMOLITION. AT COMPLETION OF THE WORK REMOVE ALL WASTE MATERIALS, TOOLS AND CONSTRUCTION EQUIPMENT, LEAVING THE AREA CLEAN AND READY FOR NEW CONSTRUCTION.</p> <p>13. NOT EVERY CONDITION IS DETAILED. WHERE SPECIFIC DETAILING IS NOT SHOWN, EXECUTE THE CONSTRUCTION IN A SOUND, WORKMANLIKE MANNER IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED INSTALLATION METHODS & PROCEDURES.</p> <p>14. WHERE DISCREPANCIES EXIST BETWEEN VARIOUS DRAWINGS, THE CONTRACTOR WILL OBTAIN THE CONTRACTING OFFICER'S INTERPRETATION BEFORE PROCEEDING. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ANY REASONABLE INTERPRETATION AT NO ADDITIONAL COST TO THE OWNER.</p> <p>15. COORDINATE AND SCHEDULE WORK WITH THE OWNER TO ACCOMMODATE THE OWNER'S NORMAL ACTIVITIES AND TO MAINTAIN THE SAFETY OF THE OWNER'S PROPERTY, STAFF AND OTHERS USING THE SITE.</p> <p>16. WHEN PRODUCT SPECIFICATIONS DO NOT EXIST, CONTRACTOR TO USE MANUFACTURERS RECOMMENDED INSTALLATION METHODS & PROCEDURES.</p>
--	---

CODE INFORMATION		
PROJECT SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC); THE 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC); THE 2015 NFPA 101 LIFE SAFETY CODE; THE 2012 MARYLAND ACCESSIBILITY CODE (COMAR 05.02.02); THE AMERICAN WITH DISABILITIES ACT; AND ALL APPLICABLE CODES AND ORDINANCES.		
CODE REQUIREMENT	REFERENCE	PROJECT INFORMATION
USE GROUP	IBC, SECTION 302	USE - BUSINESS
CONSTRUCTION TYPE	IBC, SECTION 602	TYPE VB
FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS	IBC, TABLE 601	STRUCTURAL FRAME = 0 HOURS; BEARING WALLS = 0 HOURS; NONBEARING WALLS EXTERIOR = 0 HOURS; NONBEARING WALLS INTERIOR = 0 HOURS; FLOOR CONSTRUCTION = 0 HOURS; ROOF CONSTRUCTION = 0 HOURS.
SCOPE OF WORK: REMOVE EXISTING MOD BIT & EPDM LOW SLOPE ROOF SYSEMS AND ASPHALT SHINGLE ROOF SYSTEM ON BUILDING 5004 & 5008. REPLACE WITH NEW RIGID INSULATION AND TPO ROOF SYSTEM AND NEW ASPHALT SHINGLE ROOF SYSTEM.		

VICINITY MAP



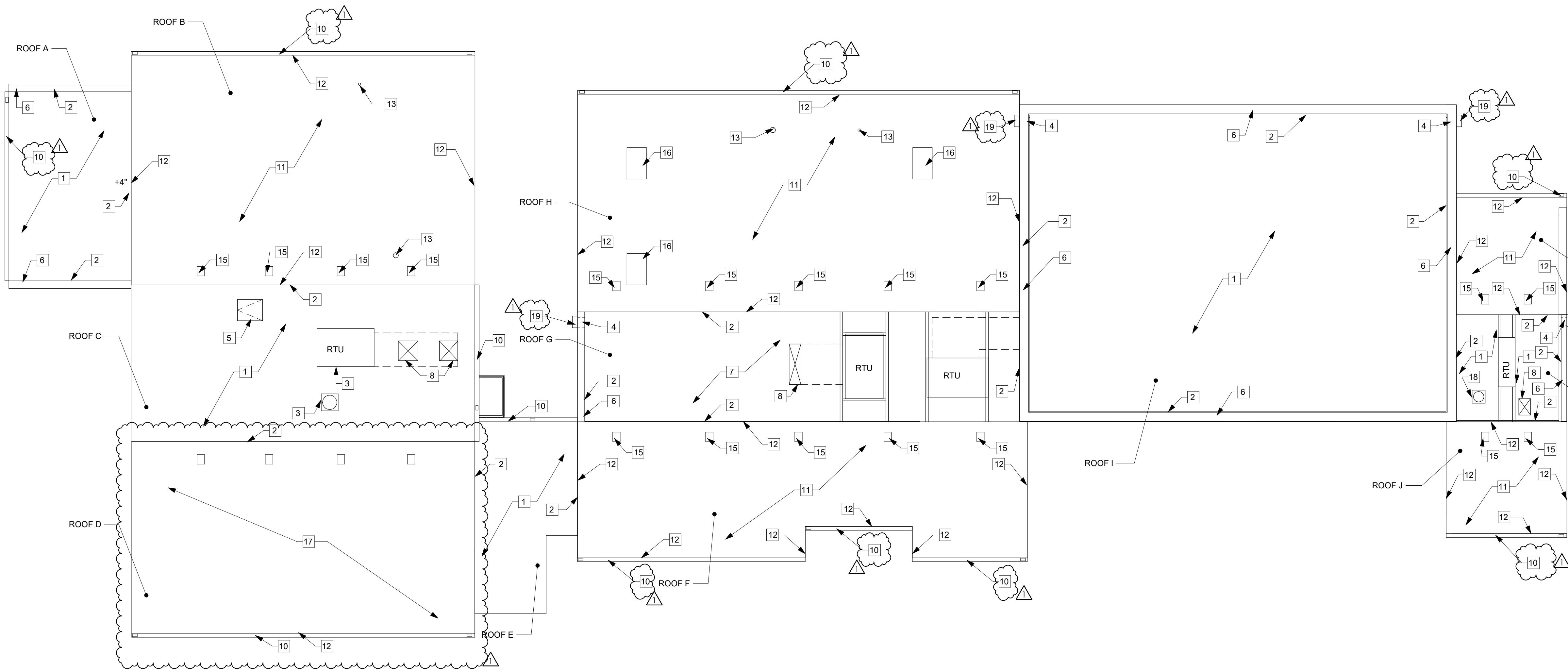
AREA OF WORK

PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE
OF MARYLAND.

THEODORE M. JASINSKI
MARYLAND REGISTRATION NO. 13866

DATE



1
D1
DEMOLITION ROOF PLAN
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. AT THE END OF THE WORK DAY OR IN THE EVENT OF FORECASTED INCLEMENT WEATHER, PROTECT ROOF OPENINGS AND EXPOSED SUBSTRATE FROM DAMAGE W/ PERMANENT CONSTRUCTION OR TEMPORARY COVERINGS THAT PROVIDE WEATHER TIGHT PROTECTION. ONLY REMOVE ROOFING AND ACCESSORIES TO THE EXTENT THAT THE CONTRACTOR CAN QUICKLY AND ADEQUATELY PROTECT WORK PRIOR TO ANY INCLEMENT WEATHER.

DEMOLITION KEYED NOTES

- 1 REMOVE BUILT-UP ROOF MEMBRANE, INSULATION AND BALLAST; INSPECT AND REPAIR ROOF DECK AS REQUIRED
- 2 REMOVE EXIST. PERIMETER BASE FLASHING AND MTL COUNTER FLASHING/TERM BARS TYP.
- 3 REMOVE FLASHING @ MECHANICAL EQUIPMENT CURBS TYP. - PREP FOR NEW
- 4 REMOVE EXIST. FLASHING @ SCUPPERS AND DOWNSPOUTS - SCUPPER BOXES ARE TO REMAIN
- 5 REMOVE FLASHING & EXIST. ROOF HATCH. PREP FOR NEW.
- 6 REMOVE METAL COPING & FLASHING. PREP FOR NEW. INSPECT & REPAIR WD. BLOCKING AS REQ'D.
- 7 REMOVE EPDM ROOFING & INSULATION. INSPECT AND REPAIR EXISTING DECK AS REQ'D.
- 8 REMOVE FLASHING AT EXIST. DUCTWORK PENETRATIONS. PREP FOR NEW.
- 9 REMOVE EXIST. FLASHING @ STL DUNNAGE SUPPORT. DUNNAGE TO REMAIN. PREP FOR NEW.
- 10 REMOVE EXISTING GUTTER AND DOWNSPOUTS - REPLACE WITH NEW TO MATCH EXISTING
- 11 REMOVE EXISTING ASPHALT SHINGLE ROOF AND WEATHER BARRIER - COMPLETE
- 12 REMOVE EXISTING ROOF EDGE FLASHING
- 13 REMOVE FLASHING AT VTR/PIPE VENTS, TYP.
- 14 REMOVE EXISTING BASE FLASHING AT EXISTING SKYLIGHT
- 15 EXISTING THROUGH ROOF VENT TO REMAIN
- 16 REMOVE EXISTING SKYLIGHT AND PREP FOR NEW CURB - SKYLIGHT TO BE RE-USED
- 17 REMOVE EXISTING ROOF AND ROOF FRAMING - SEE NEW WORK DRAWINGS
- 18 REMOVE EXISTING EXHAUST FAN - COMPLETE
- 19 REMOVE EXISTING DOWNSPOUT

ROOF SYMBOLS

- EXHAUST FAN
- ROOF HATCH
- EXISTING DUCTWORK PENETRATION
- EXISTING DUCTWORK ABOVE
- ROOFS TO BE REPLACED
- THROUGH ROOF VENT PIPE
- THROUGH ROOF VENT

ROOF AREA

ROOF AREA A: 377 SF - TPO
ROOF AREA B: 1,394 SF - ASPHALT SHINGLE
ROOF AREA C: 877 SF - TPO
ROOF AREA D: 1,076 SF - ASPHALT SHINGLE
ROOF AREA D2: 67 SF - ASPHALT SHINGLE
ROOF AREA E: 281 SF - TPO
ROOF AREA F: 1,177 SF - ASPHALT SHINGLE
ROOF AREA G: 789 SF - TPO
ROOF AREA H: 1,616 SF - ASPHALT SHINGLE
ROOF AREA I: 2,120 SF - TPO
ROOF AREA J: 275 SF - ASPHALT SHINGLE
ROOF AREA K: 183 SF - TPO
ROOF AREA L: 218 SF - ASPHALT SHINGLE
TOTAL: 10,379 SF

REVISIONS		DATE	DESCRIPTION
REV#	DATE	ADDENDUM #1	
1	04/20/20		

ARCHITECTS
ENGINEERS
PLANNERS
SURVEYORS

FWA

FREDERICK WARD ASSOCIATES
P.O. Box 727, 5 South Main Street, Baltimore, Maryland 21014
410-838-7900
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TOWN OF RIVERDALE PARK

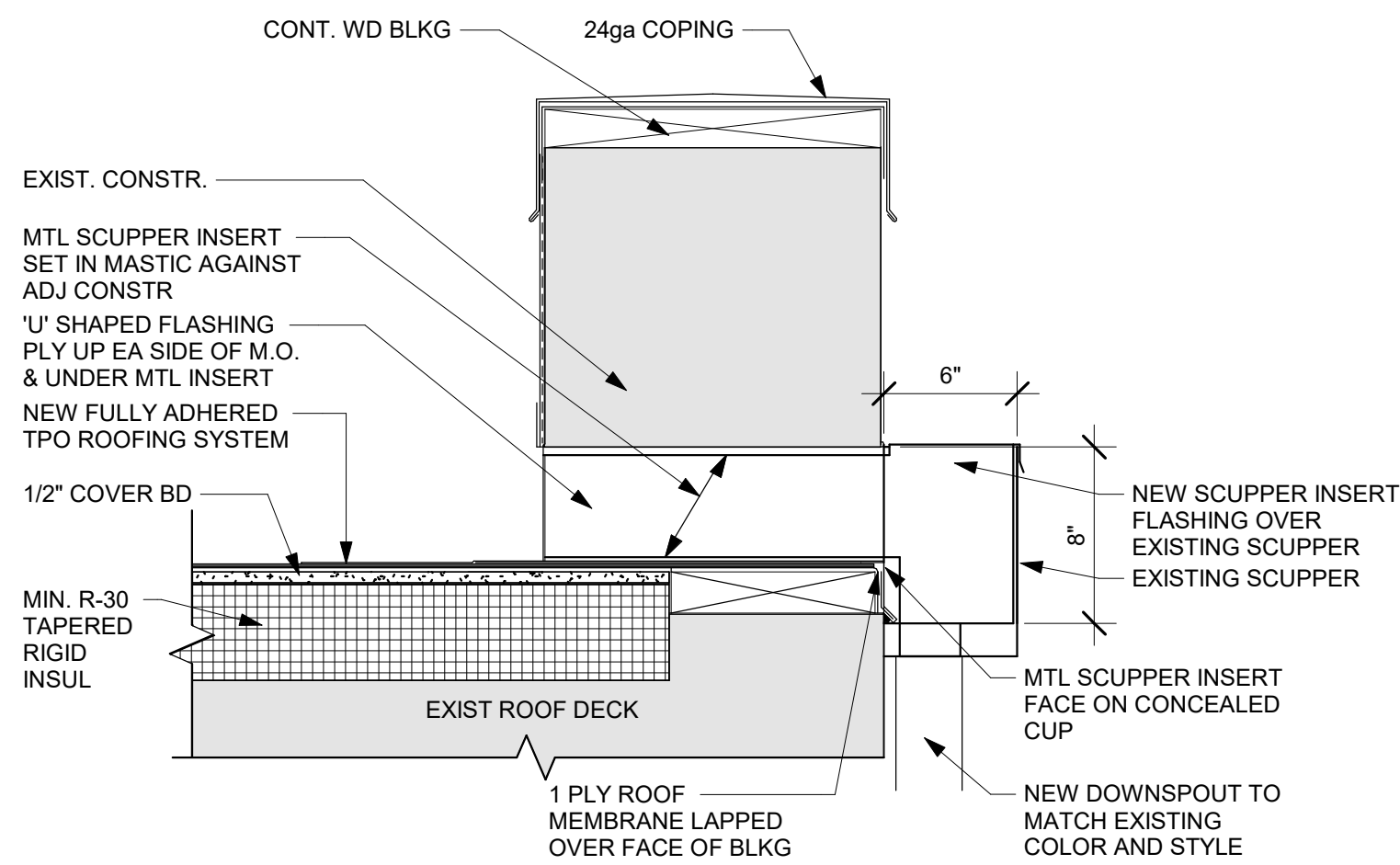
5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

DEMOLITION PLAN

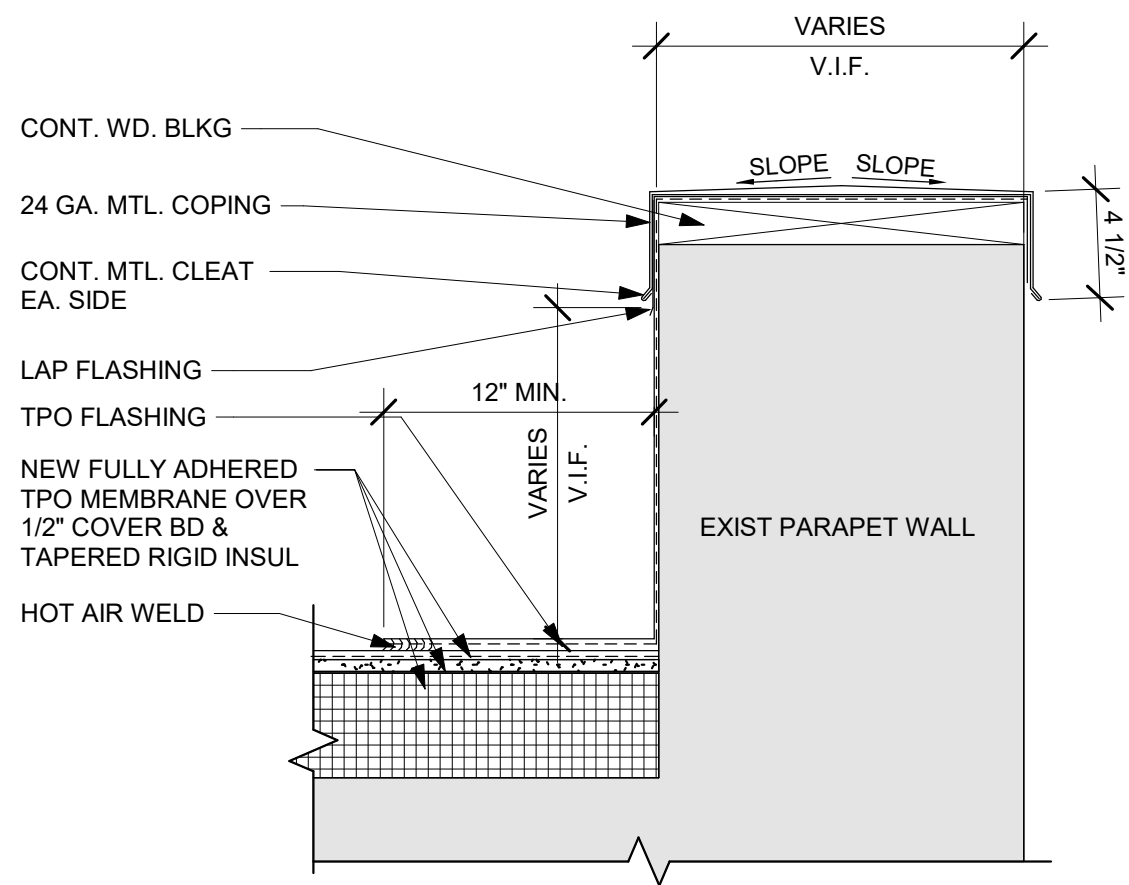
FOR
ROOF REPLACEMENT
RIVERDALE PARK'S MUNICIPAL
CENTER

5004 & 5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

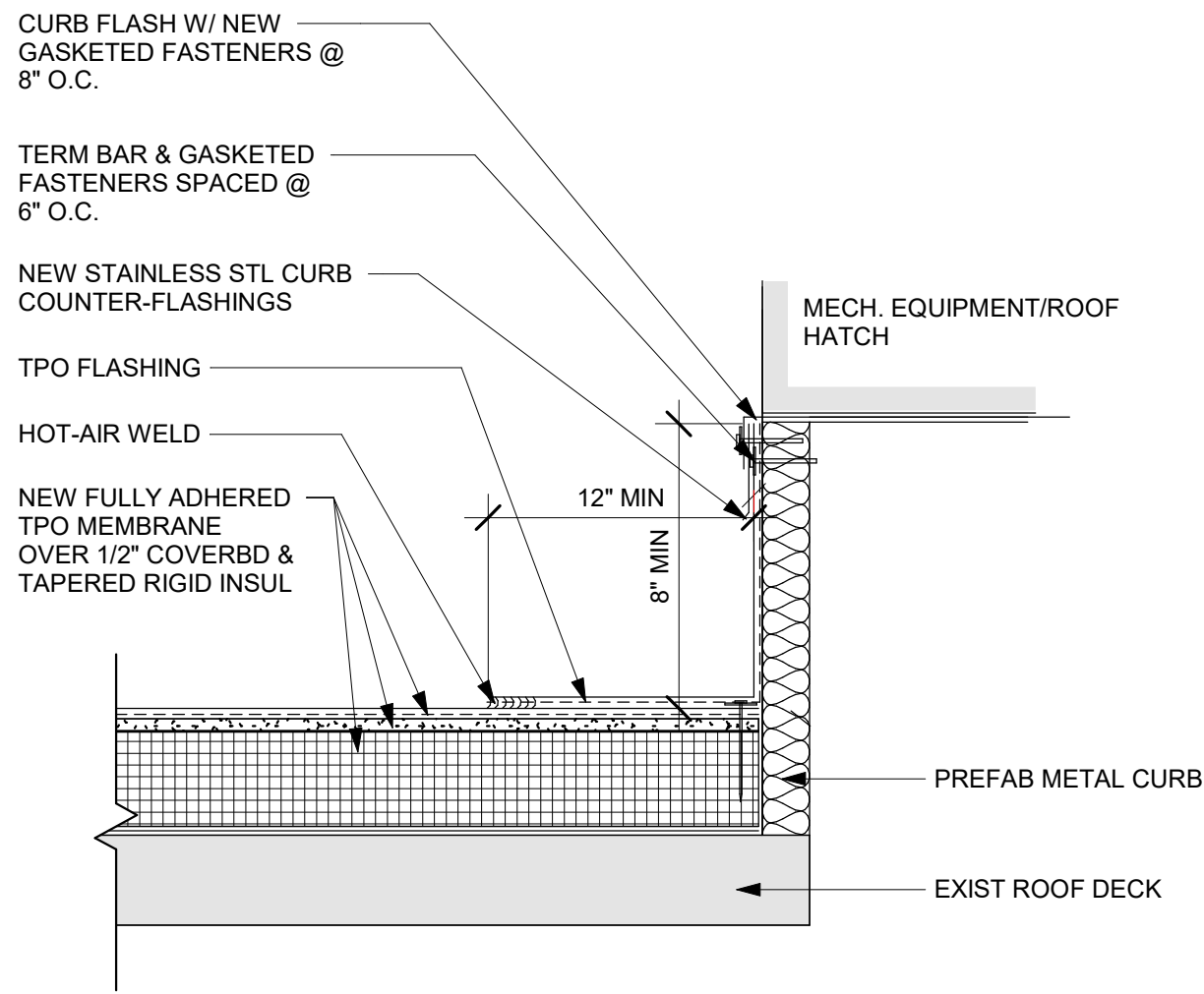
DATE: 04/20/2020	DRAWING NO: D1
SCALE: AS NOTED	
DRAWN BY: DBW	
CHECKED BY: TMJ	PWA JOB NUMBER 2191191.00



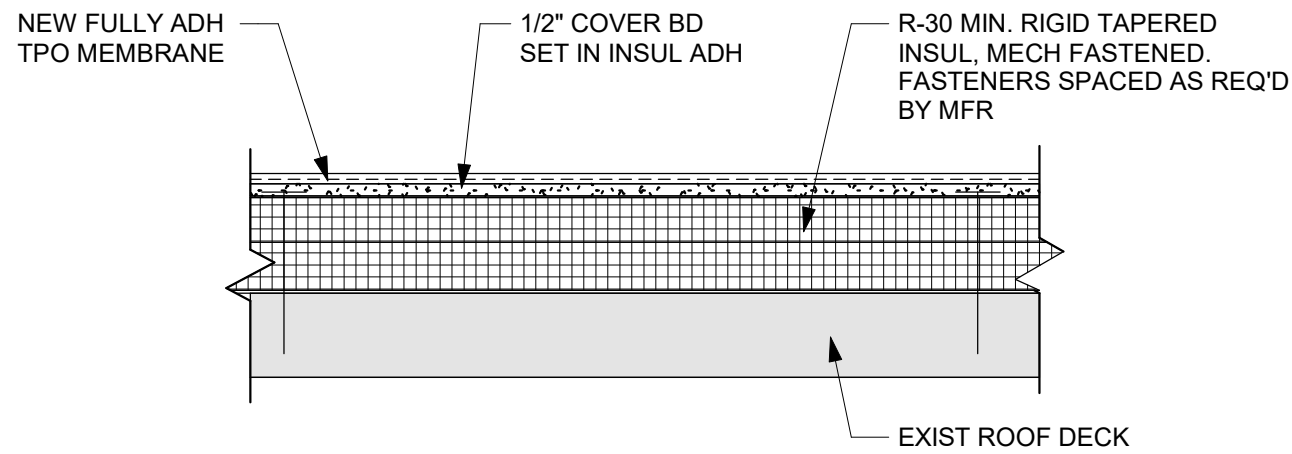
4 SCUPPER DETAIL W/ DOWNSPOUT
1 1/2" = 1'-0"



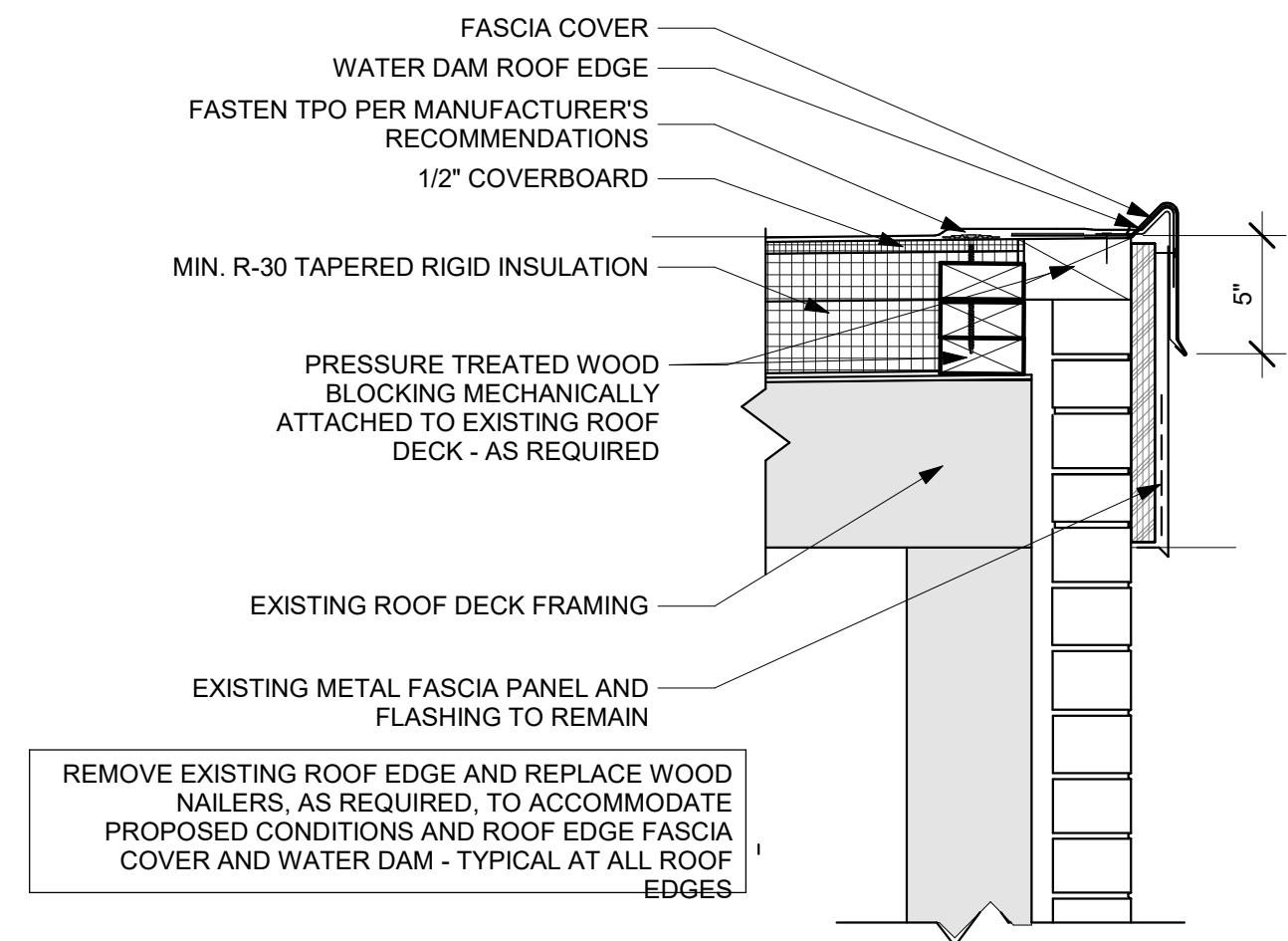
3 PARAPET DETAIL
1 1/2" = 1'-0"
NOTE:
FOR COPING PROFILES - SEE DTL 8/A300



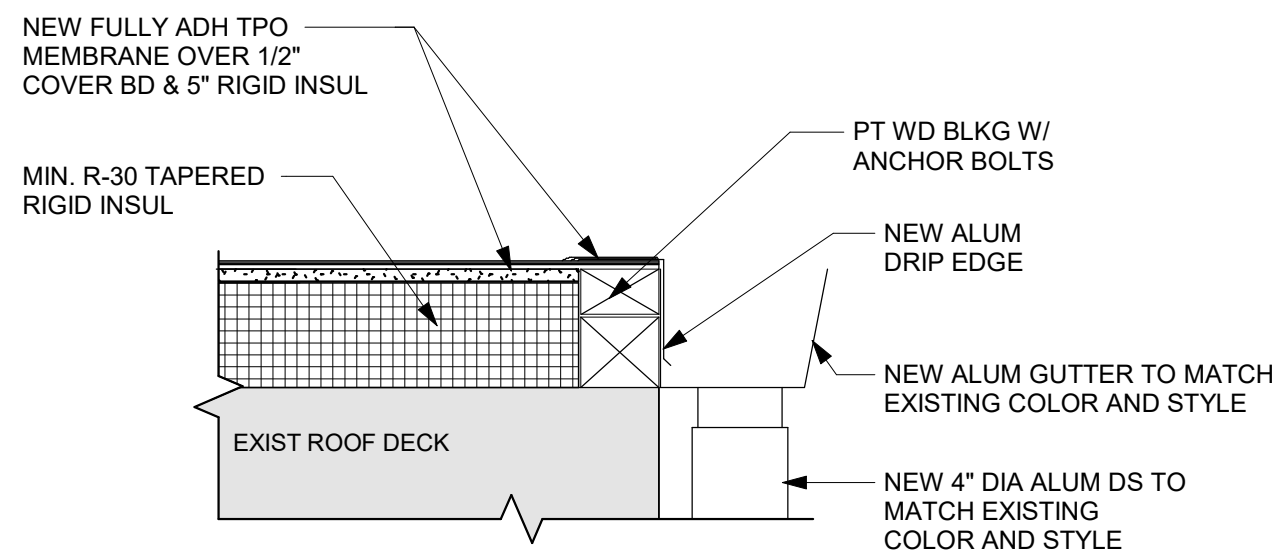
2 CURB FLASHING DETAIL
1 1/2" = 1'-0"



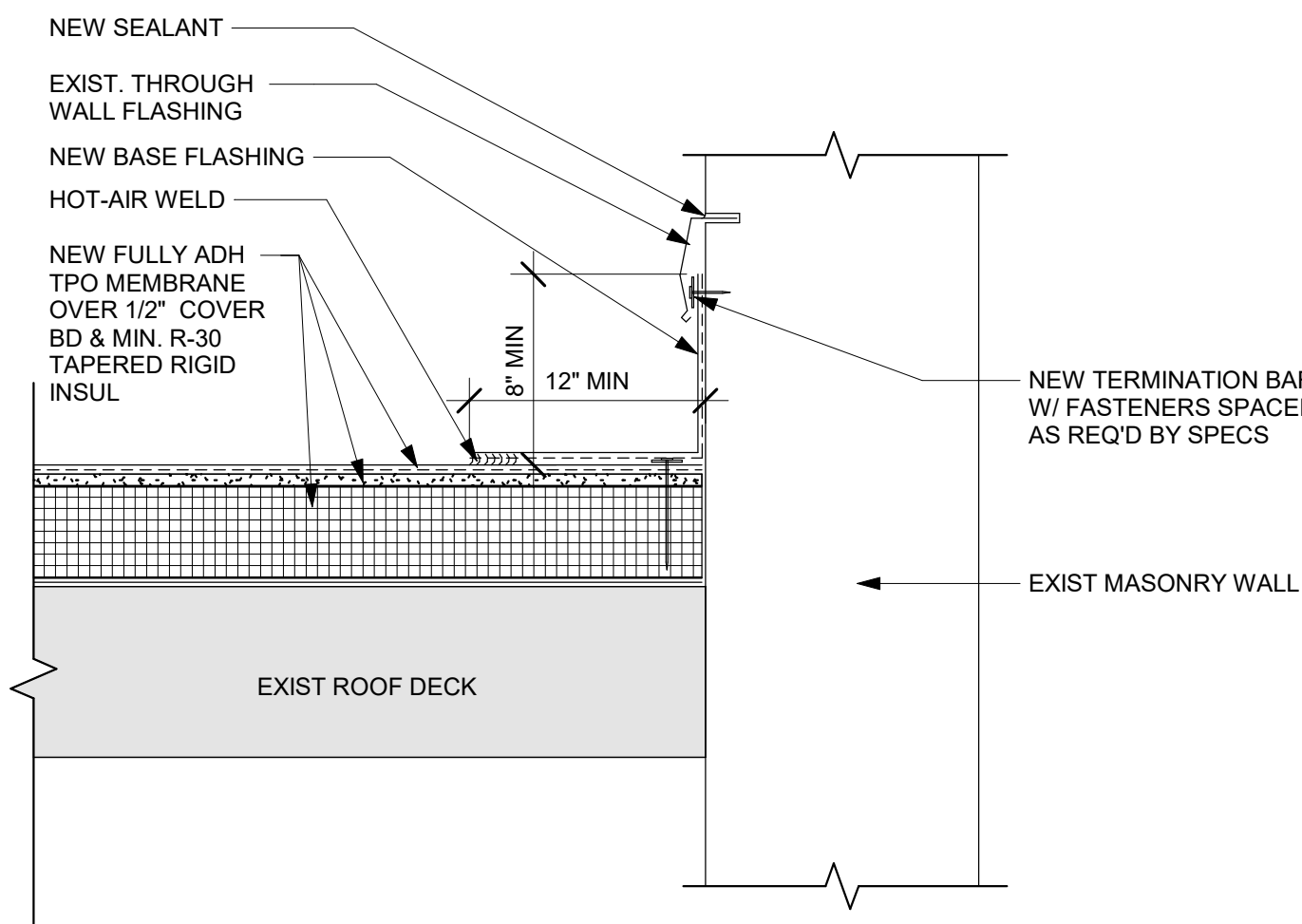
1 TYP. ROOFING COMPOSITION
1 1/2" = 1'-0"



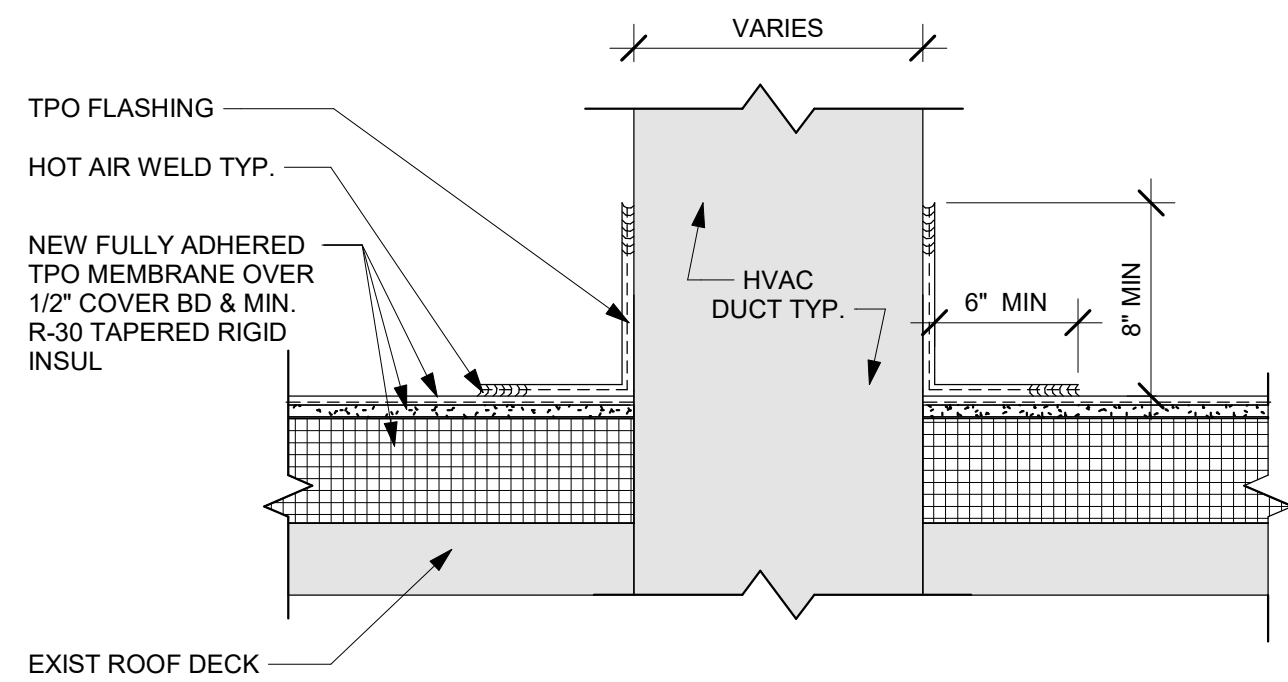
8 GRAVEL STOP - TYP.
1 1/2" = 1'-0"



7 TYP. GUTTER DTL. - LOW SLOPE ROOF
1 1/2" = 1'-0"



6 FLASHING DETAIL @ MASONRY WALL
1 1/2" = 1'-0"



5 FLASHING @ HVAC DUCT PENETRATION
1 1/2" = 1'-0"

REVISIONS		DESCRIPTION
REV#	DATE	

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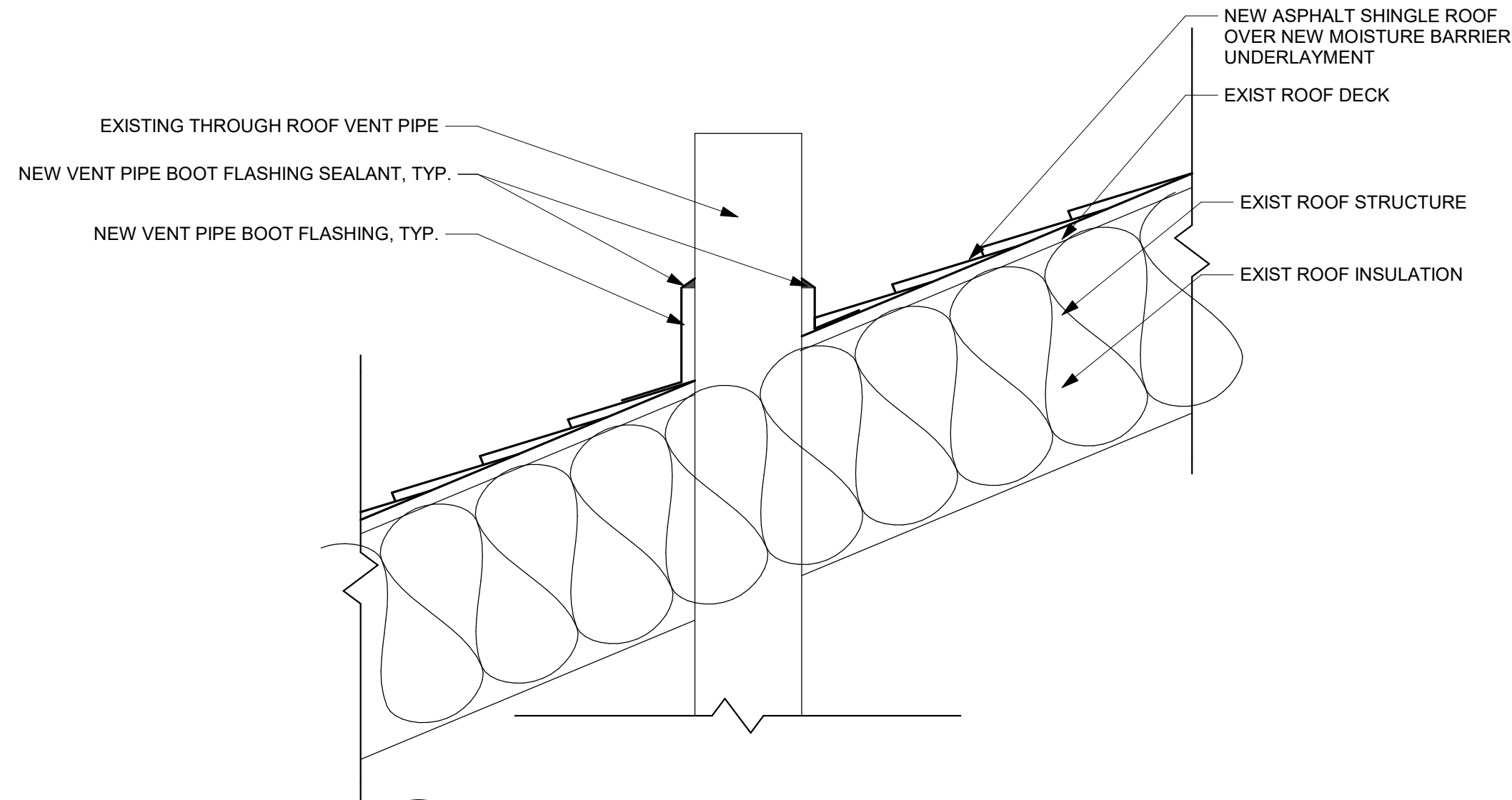
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5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

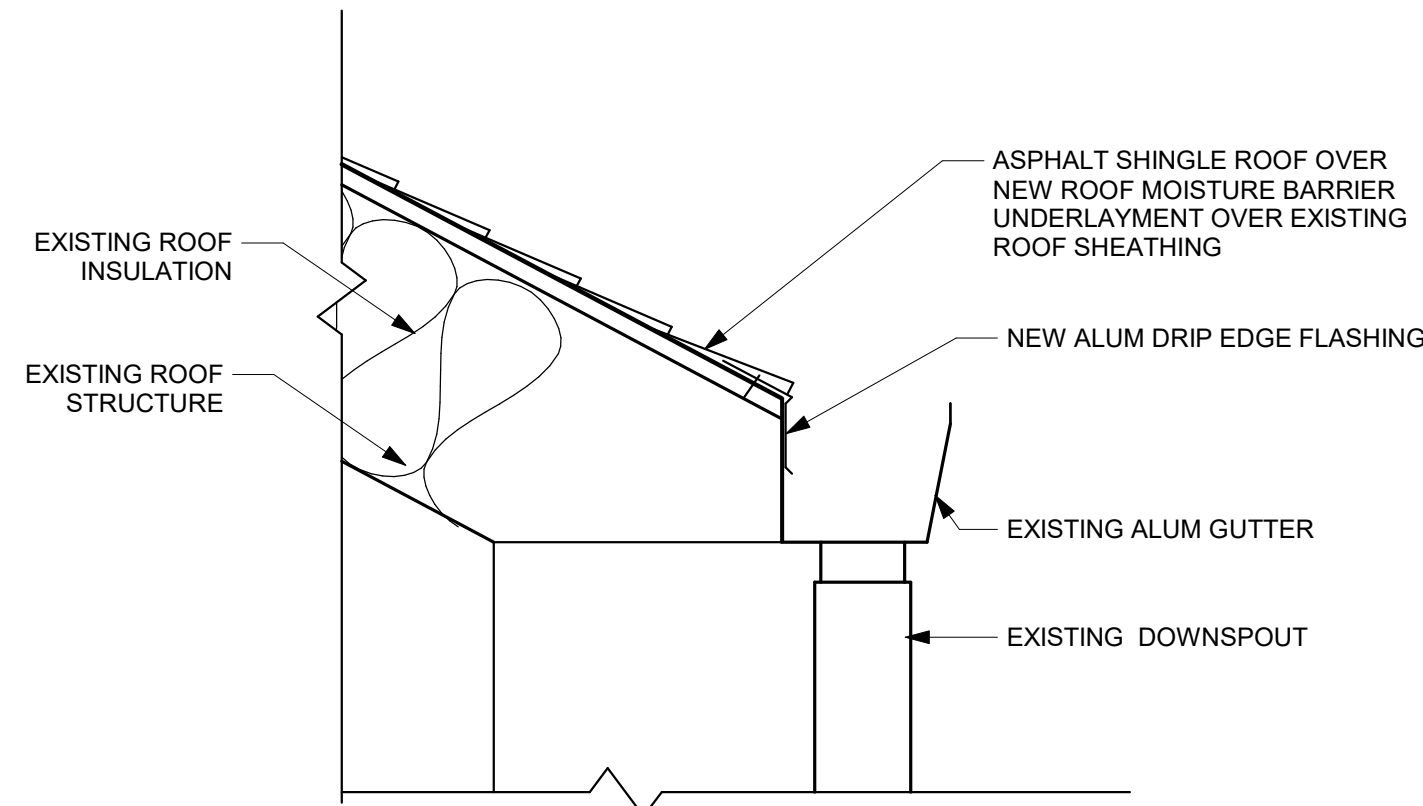
LOW SLOPE ROOF DETAILS

FOR
ROOF REPLACEMENT
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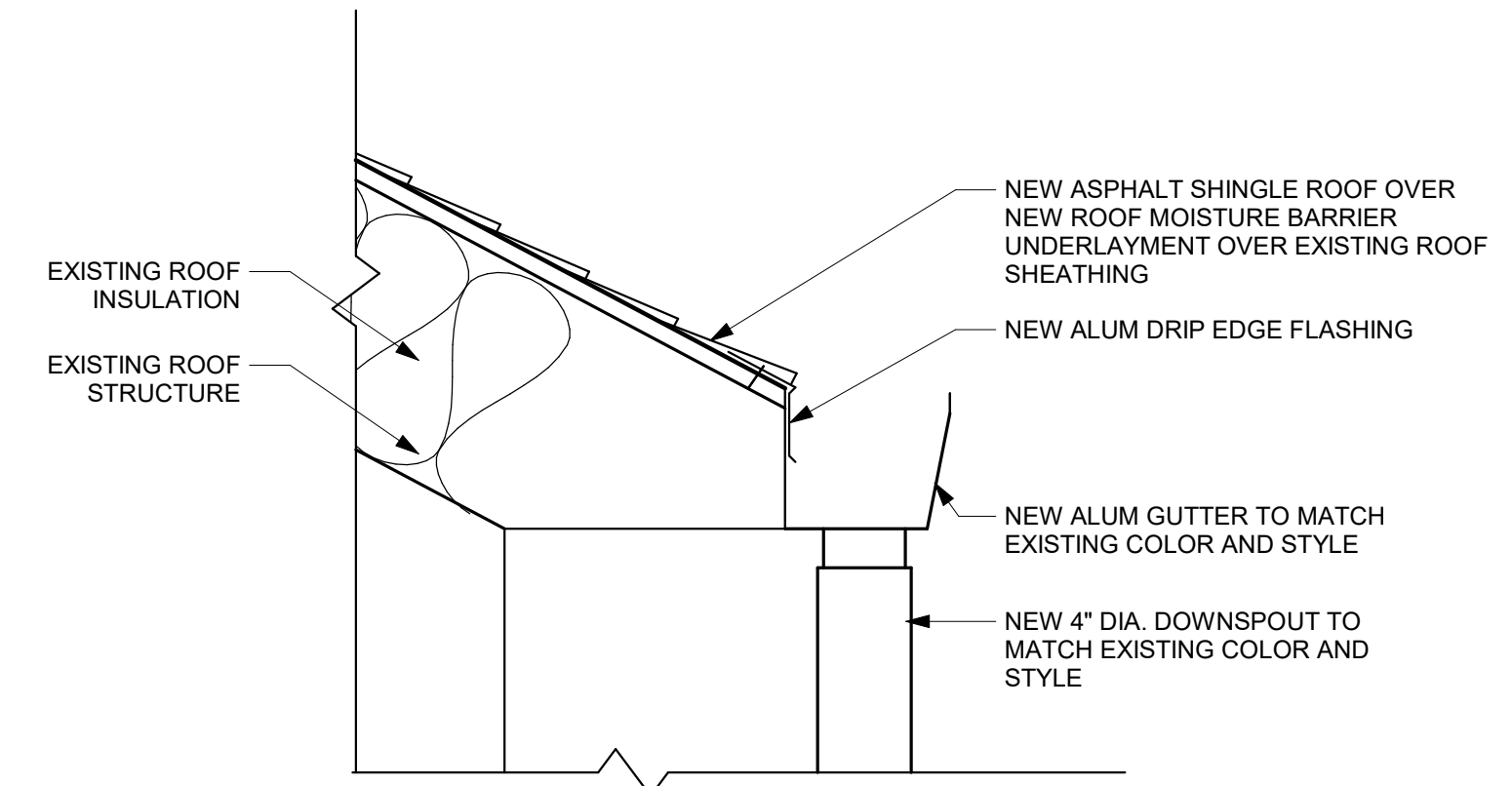
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SCALE: AS NOTED	
DRAWN BY: DBW	
CHECKED BY: TMJ	PWA JOB NUMBER 2191191.00



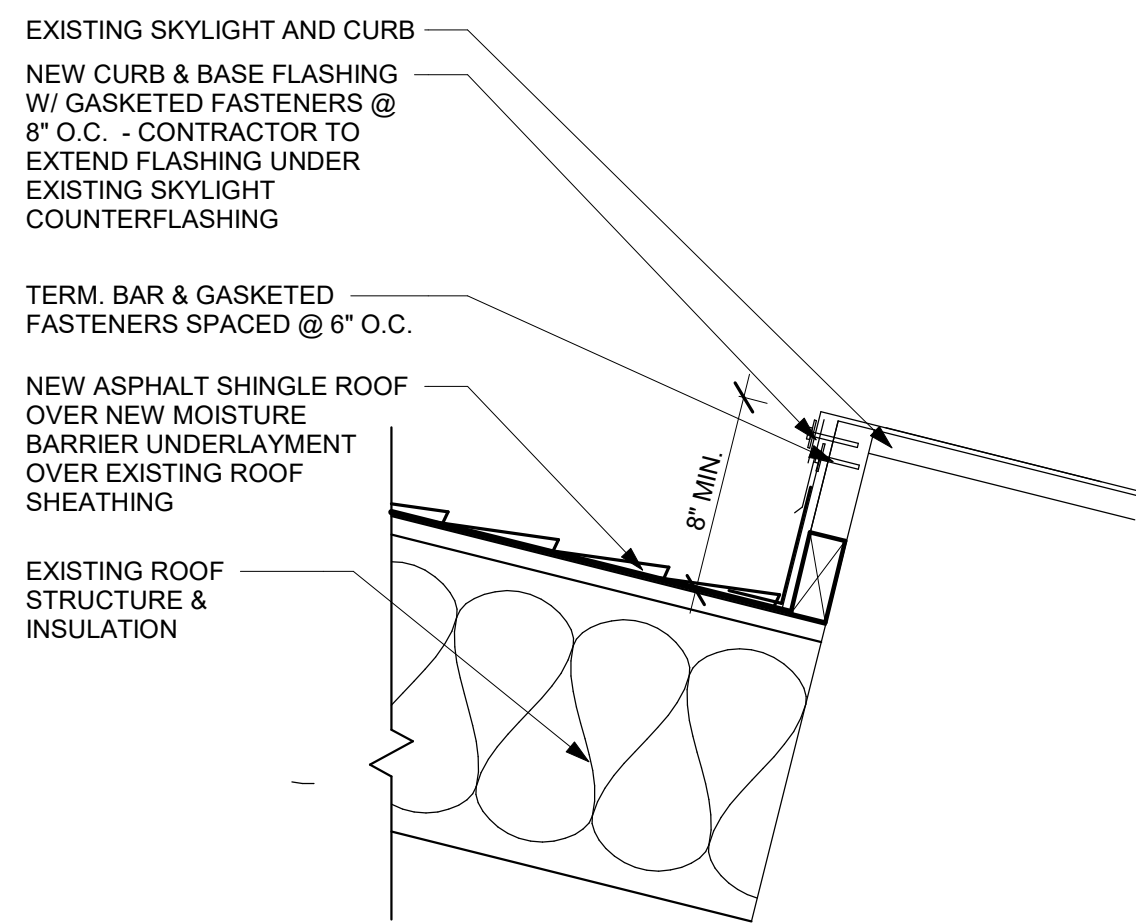
3
A3 TYP. VENT PIPE DETAIL
1 1/2" = 1'-0"



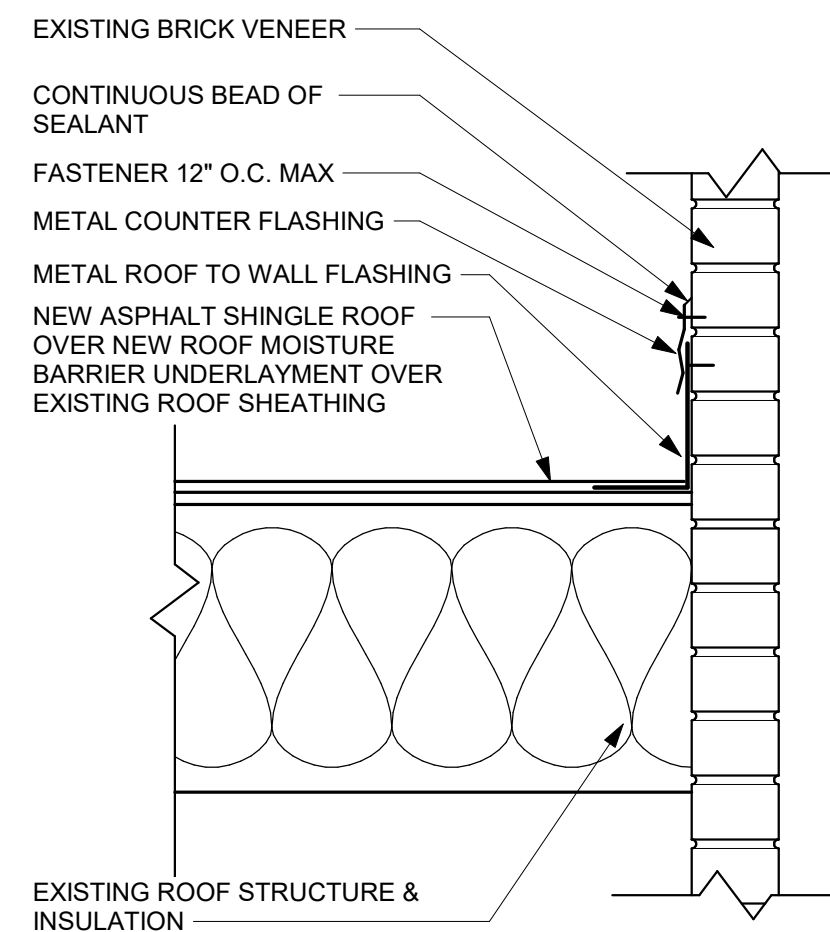
2
A3 TYP. GUTTER DTL. - ASPHALT SHINGLE ROOF
1 1/2" = 1'-0"



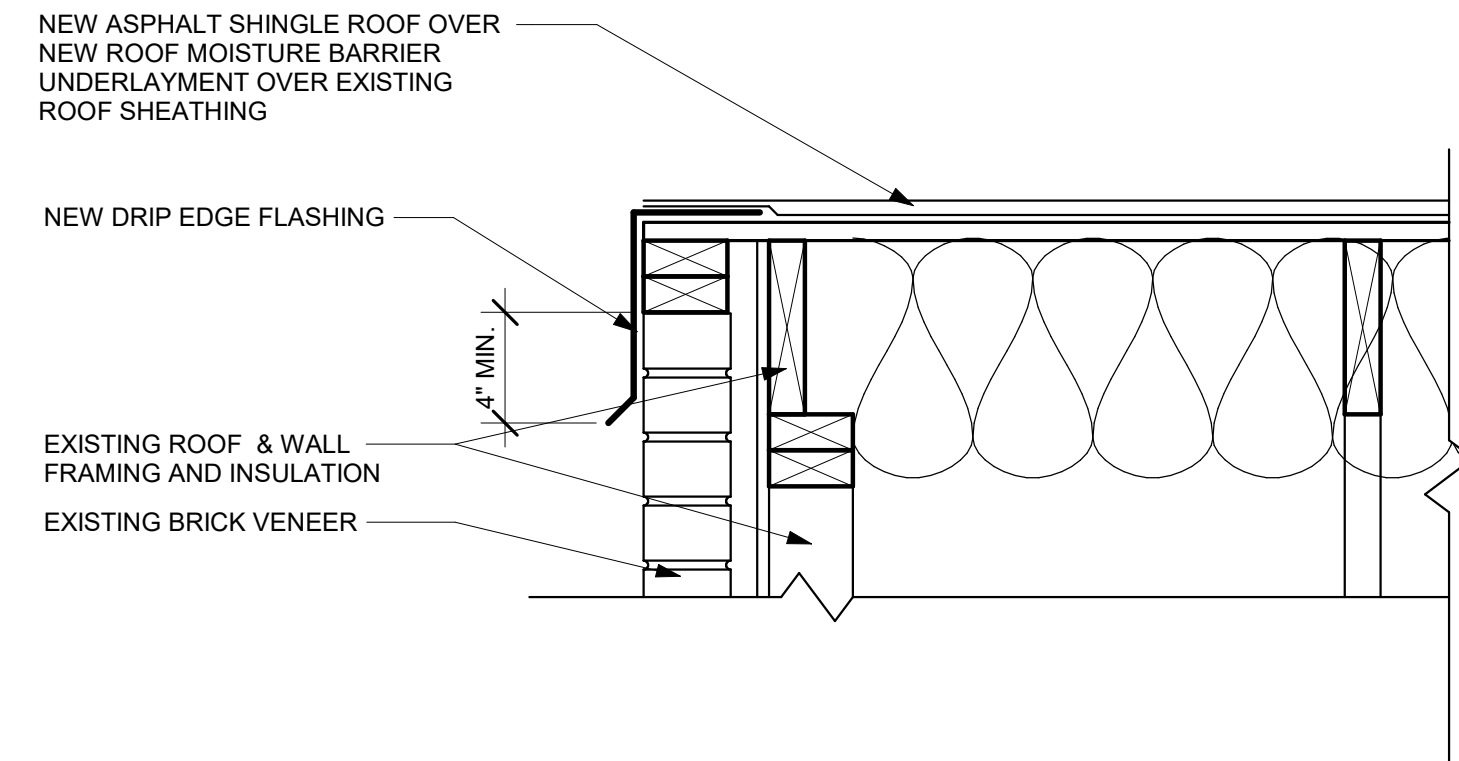
1
A3 TYP. GUTTER DTL. - HIGH SLOPED ROOF
1 1/2" = 1'-0"



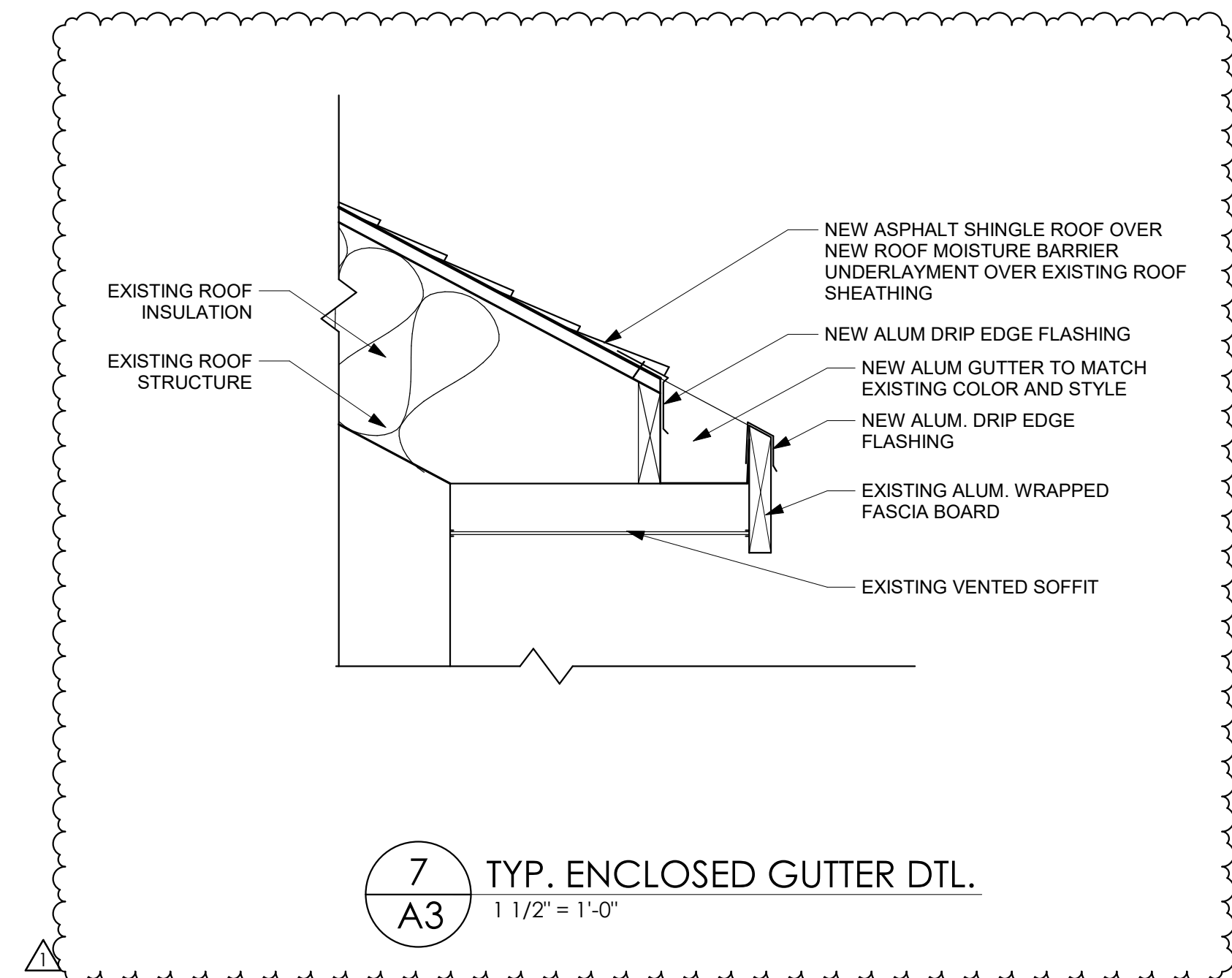
6
A3 TYPICAL SKYLIGHT BASE FLASHING DETAIL
1 1/2" = 1'-0"



5
A3 ROOF TO WALL FLASHING
1 1/2" = 1'-0"



4
A3 ROOF EDGE FLASHING
1 1/2" = 1'-0"



7
A3 TYP. ENCLOSED GUTTER DTL.
1 1/2" = 1'-0"

REV#	DATE	DESCRIPTION
1	04/20/20	ADDENDUM #1

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**ASPHALT SHINGLE ROOF
DETAILS**

FOR
RIVERDALE PARK'S MUNICIPAL
CENTER

5004 & 5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

DATE:
04/20/2020
SCALE:
AS NOTED
DRAWN BY:
DBW
CHECKED BY:
TMJ

DRAWING NO:
A3
PWA JOB NUMBER
2191191.00

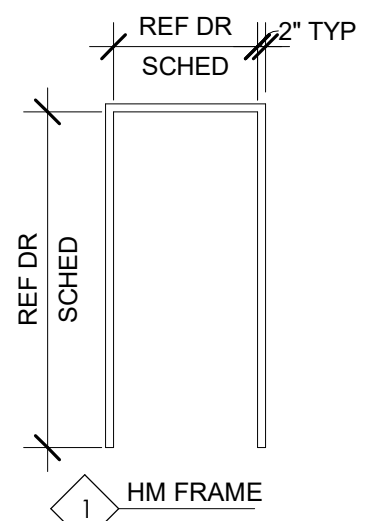
DOOR & OPENING SCHEDULE										
MARK	ROOM	WIDTH	HEIGHT	THICKNESS	DOOR			FRAME		REMARKS
					TYPE	MATL	FINISH	ELEV	MATL	
001	NEW CLOSET	3'-0"	7'-0"	0'-1 3/4"	F	SCWD	STAIN	1	HM	1,2
002	NEW CLOSET	3'-0"	7'-0"	0'-1 3/4"	F	SCWD	STAIN	1	HM	1,2

NOTE:
1) CONTRACTOR TO MATCH EXISTING DOOR STAIN COLOR AND FINISH.
2) CONTRACTOR TO COORDINATE WITH OWNER ON MASTER KEY SYSTEM AND HARDWARE PRIOR TO ORDER AND INSTALLATION.

DOOR TYPES:

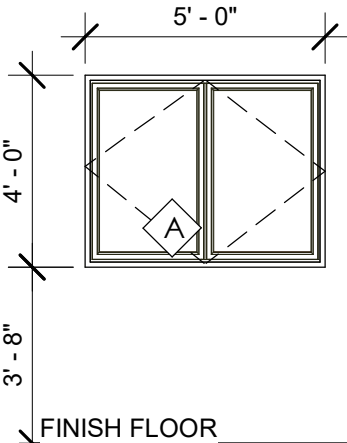


DOOR FRAME TYPES:



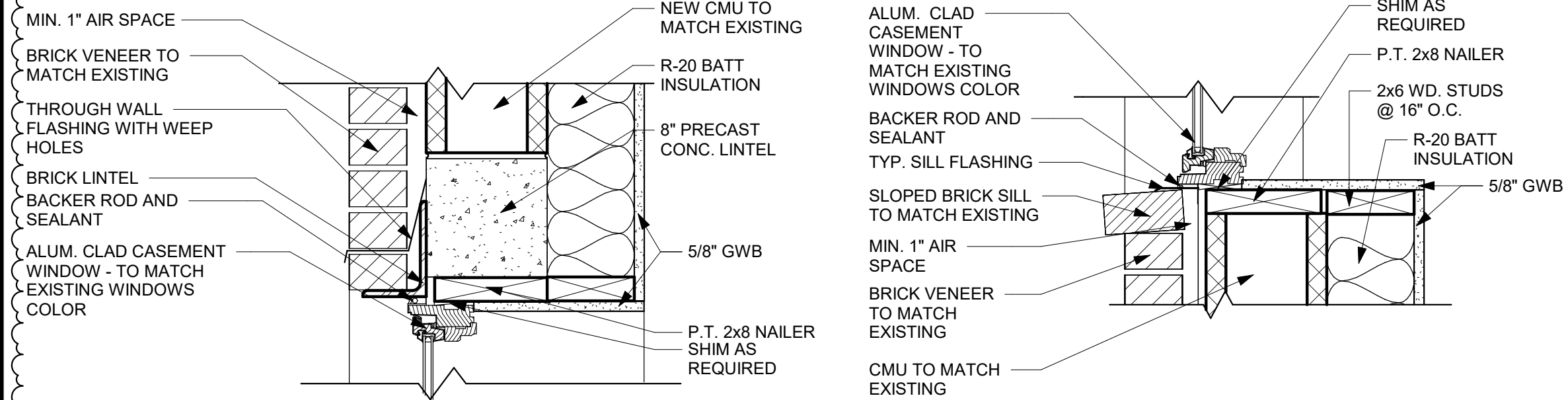
HARDWARE SET 1:

- 1 1/2 PAIR HINGES
- 1 STOREROOM LEVER LATCHSET
- 1 CLOSER
- 1 DOOR FLOORWALL STOP
- 1 DOOR SILENCER

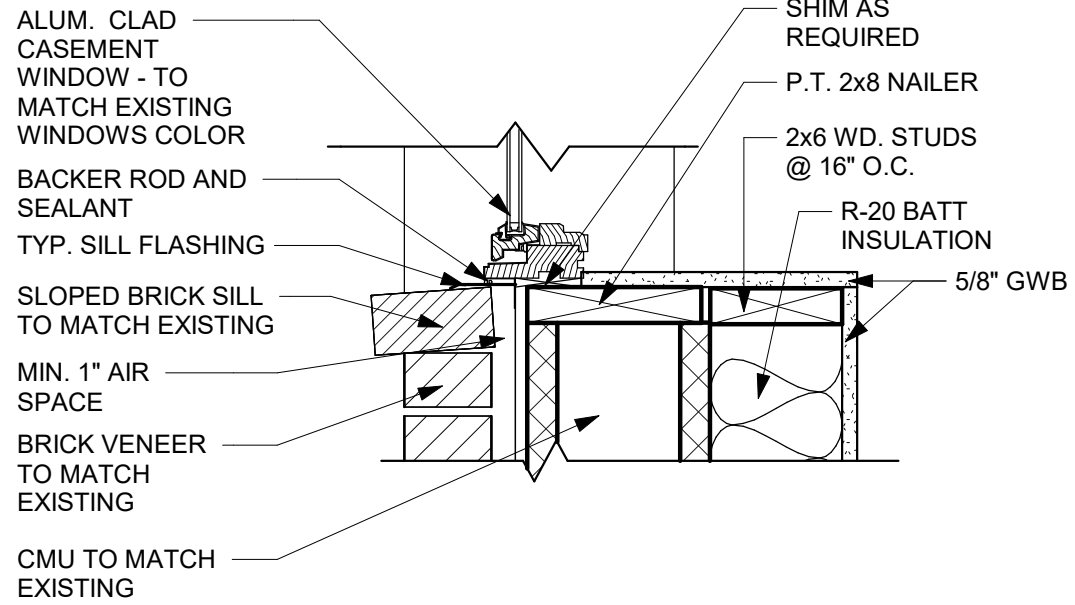


CASEMENT WINDOW

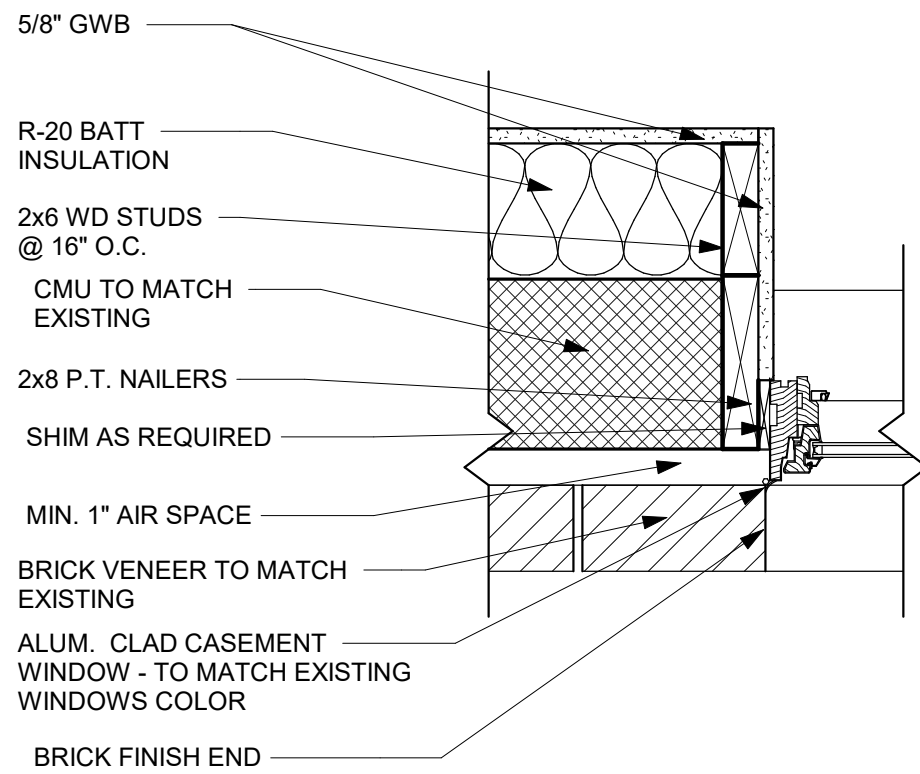
NOTE: CONTRACTOR TO INSTALL PER MANUFACTURERS RECOMMENDATIONS



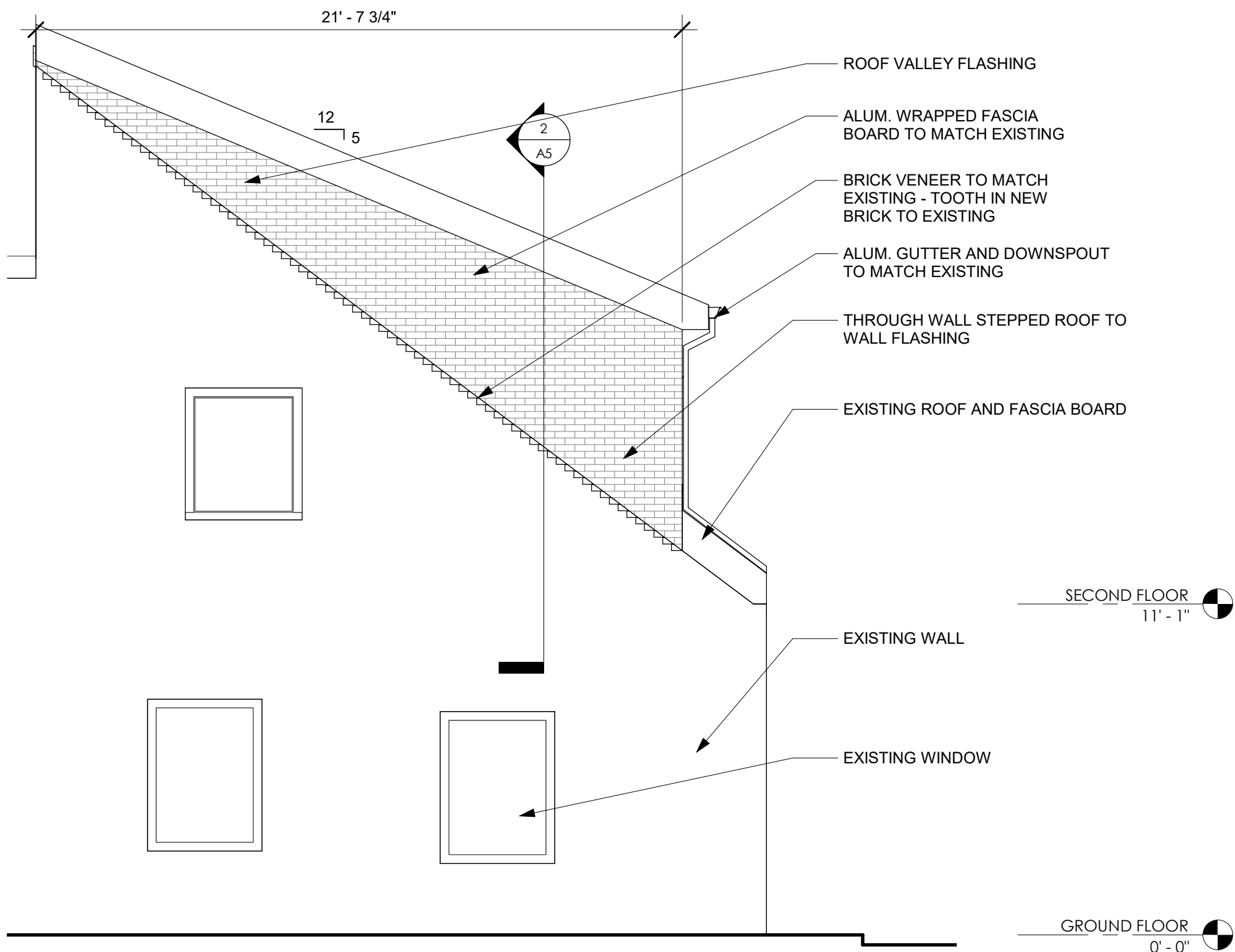
4 WINDOW HEAD DETAIL
1 1/2" = 1'-0"



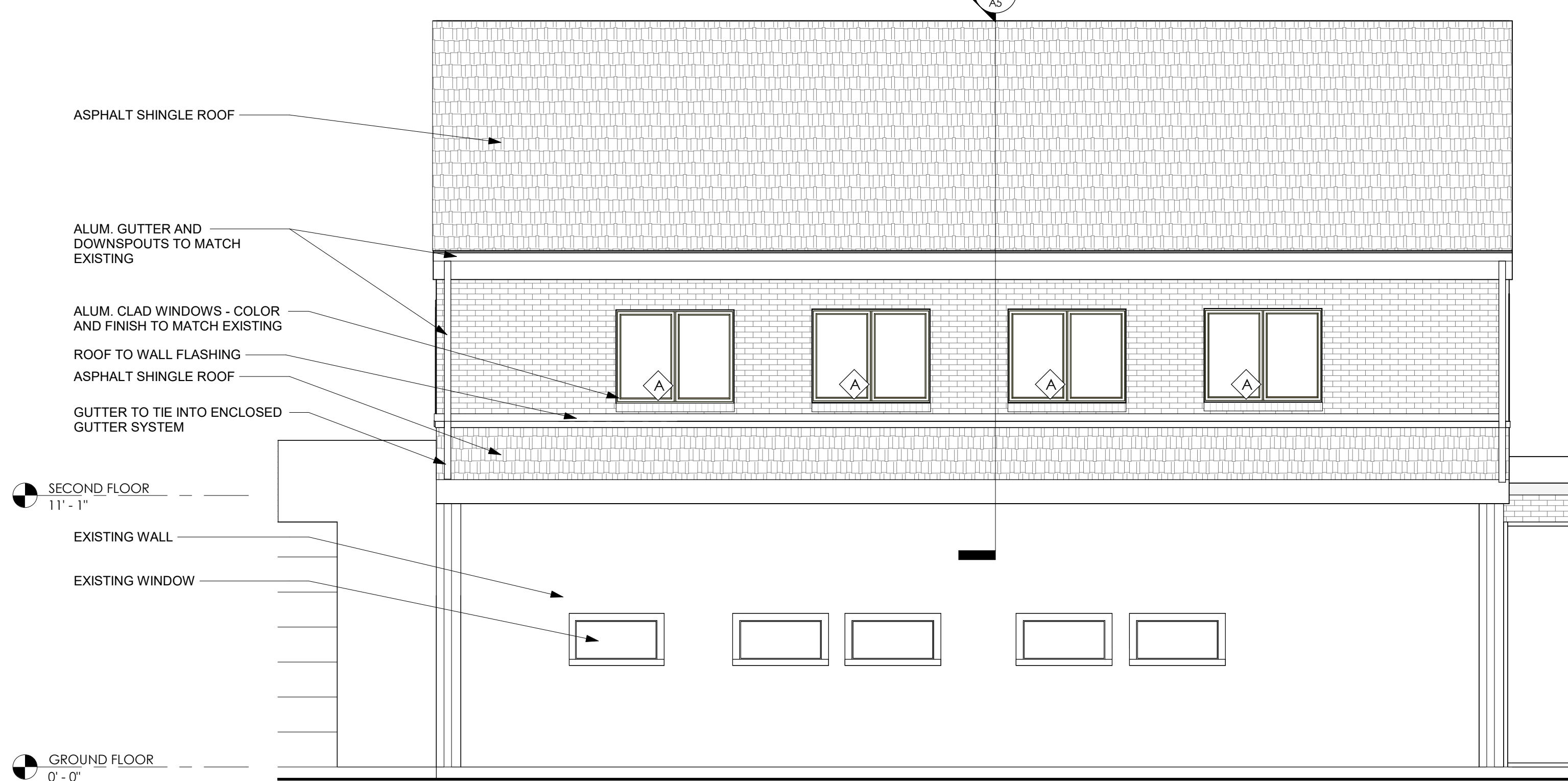
5 WINDOW SILL DETAIL
1 1/2" = 1'-0"



6 WINDOW JAMB DETAIL
1 1/2" = 1'-0"

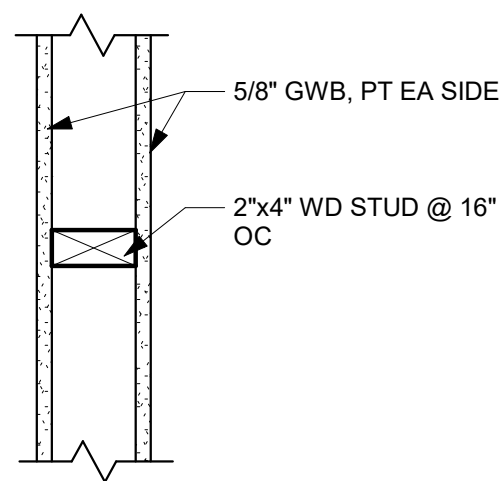


3 PARTIAL WEST ELEVATION
1/4" = 1'-0"
NOTE: EAST ELEVATION SIMILAR REVERSE

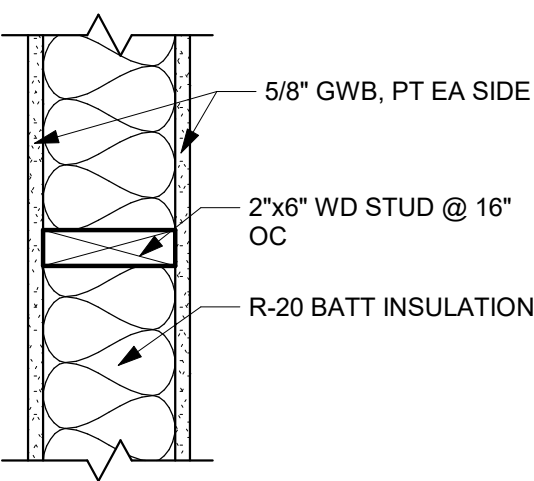


2 PARTIAL SOUTH ELEVATION
1/4" = 1'-0"

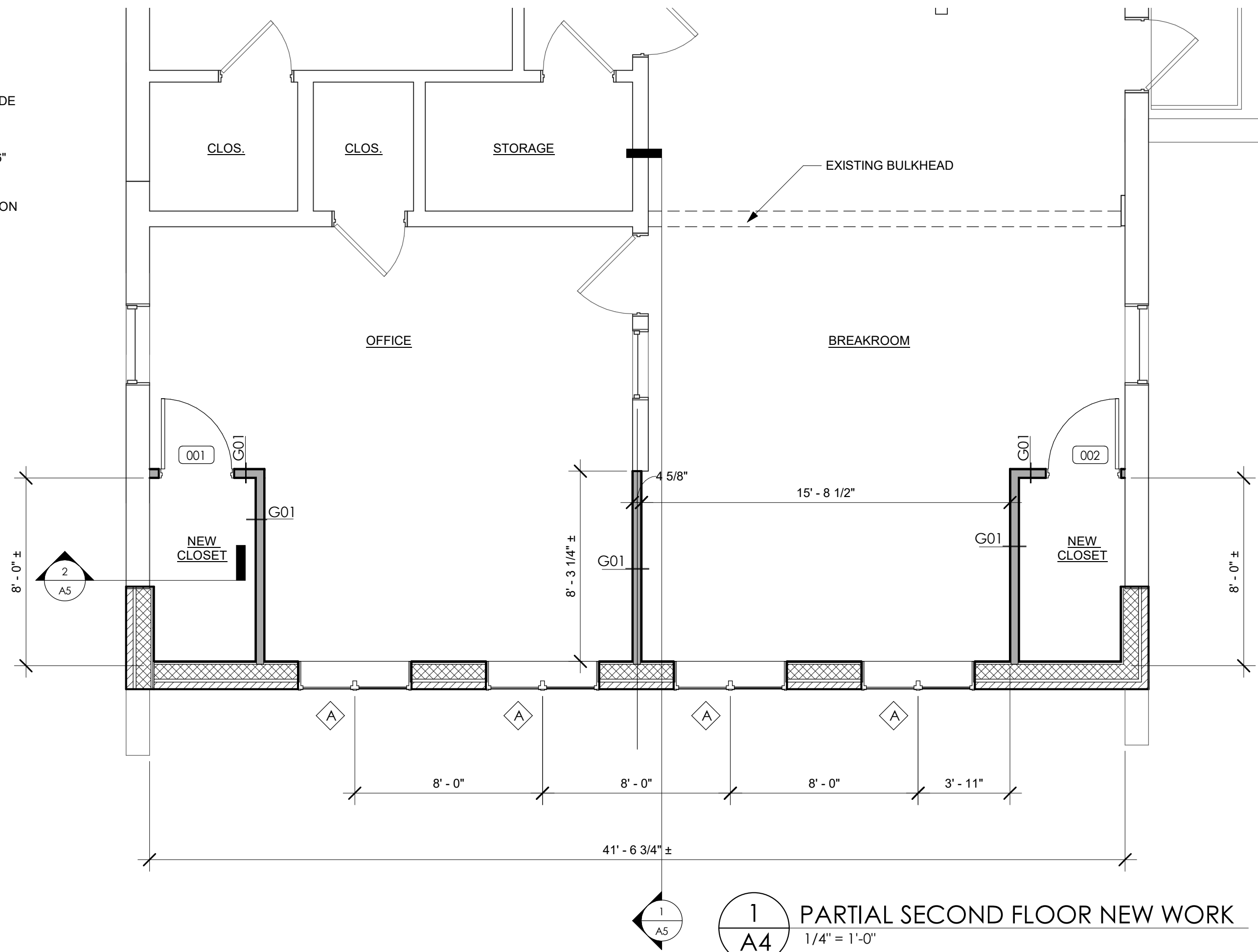
WALL TYPES



G01
NOTE: ALL WALLS ARE FROM EXISTING FLOOR TO UNDERSIDE OF NEW ROOF SYSTEM



G02



1 PARTIAL SECOND FLOOR NEW WORK
1/4" = 1'-0"

REVISIONS		DESCRIPTION
REV#	DATE	ADDENDUM #1
1	04/20/20	

ARCHITECTS
ENGINEERS
PLANNERS
SURVEYORS
410-838-7900
www.frederickward.com



FREDERICK WARD ASSOCIATES
P.O. Box 727, 5 South Main Street, Baltimore, Maryland 21014

OWNER/DEVELOPER

TOWN OF RIVERDALE PARK

5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

DORMER PLAN, ELEVATIONS AND DETAILS

FOR
RIVERDALE PARK'S MUNICIPAL
CENTER

5004 & 5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

DATE:
04/20/2020

SCALE:
AS NOTED

DRAWN BY:
DBW

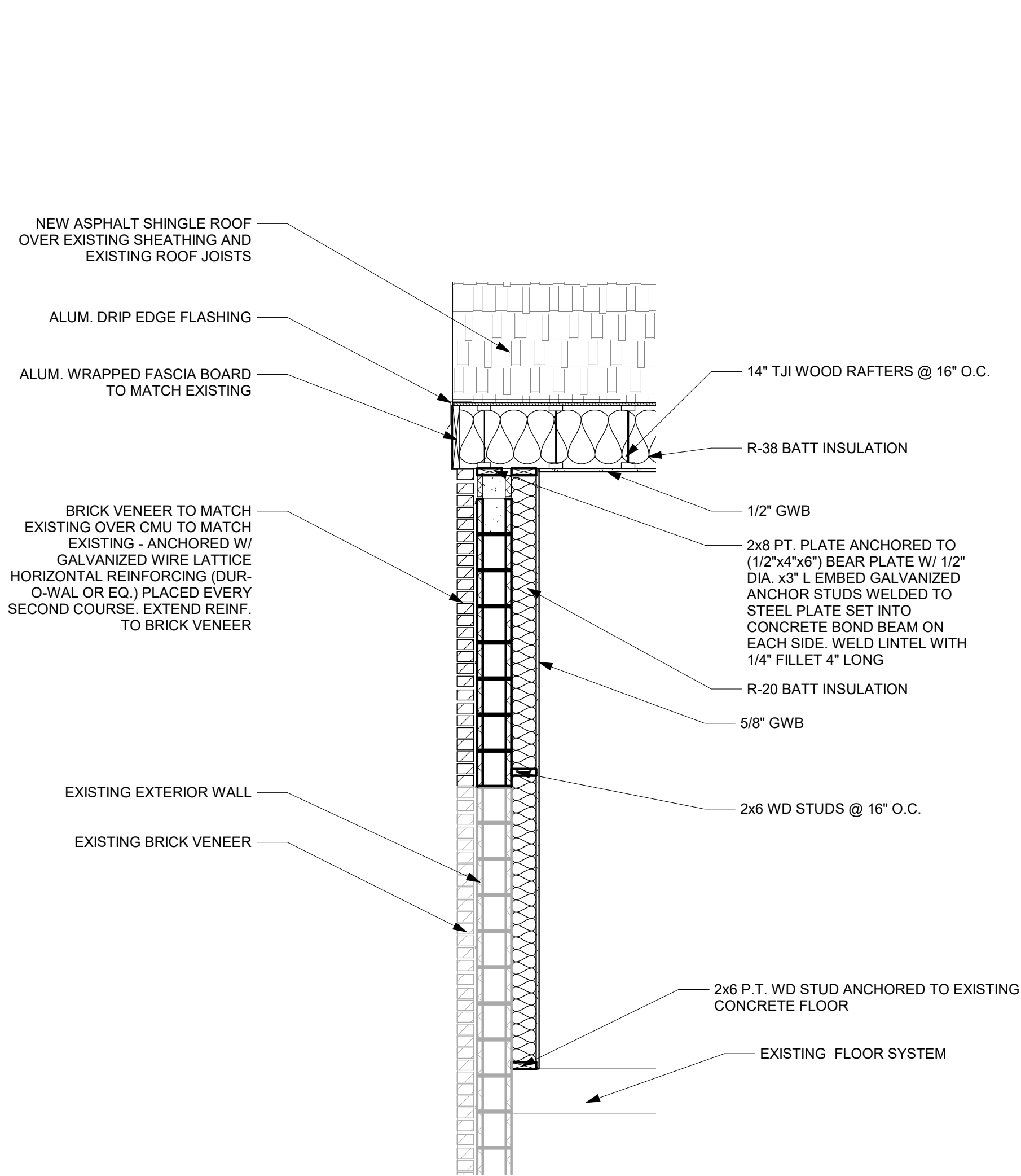
CHECKED BY:
TMJ

DRAWING NO:

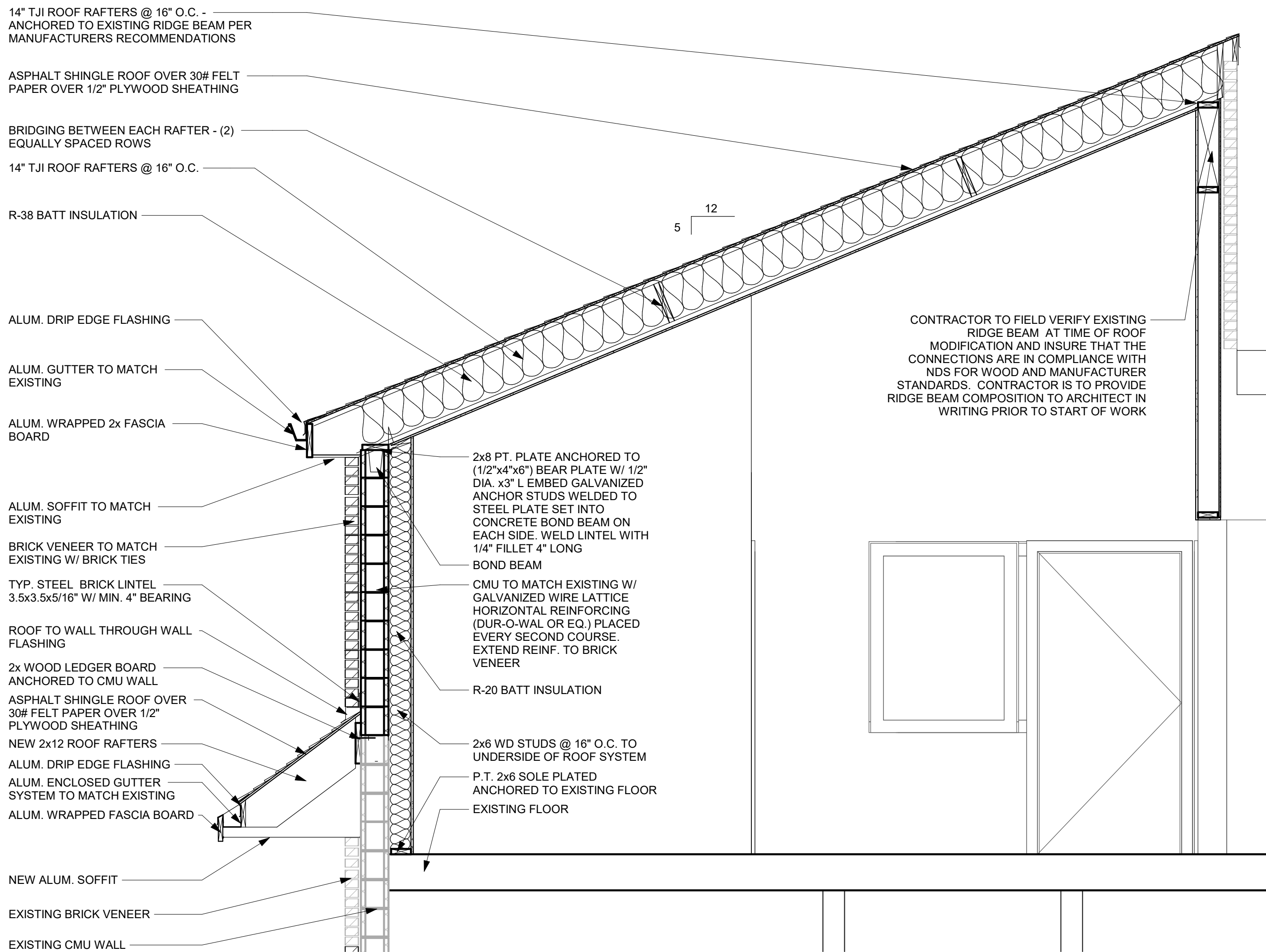
A4

FWA JOB NUMBER

2191191.00



2
A5 DORMER WALL SECTION
1/2" = 1'-0"



1
A5 DORMER BUILDING SECTION
1/2" = 1'-0"

GENERAL STRUCTURAL NOTES:
1) ALL CONVENTIONAL LUMBER USED IS TO BE SPF NO. 2 OR BETTER; KD MIN.; 19% MC.
2) ANY WOOD IN CONTACT WITH MASONRY OR CONCRETE IS TO BE PRESSURE TREATED.
3) ROOF PLYWOOD IS TO BE 5/8" APA RATED CDX WITH 1" CLIPS NAILED PER IRC NAILING SCHEDULE.

REVISIONS		DATE	DESCRIPTION
REV#	1	04/20/2020	ADDENDUM #1

ARCHITECTS
ENGINEERS
PLANNERS
SURVEYORS

FWA

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OWNER/DEVELOPER

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5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

DORMER SECTIONS

ROOF REPLACEMENT
FOR
RIVERDALE PARK'S MUNICIPAL
CENTER
5004 & 5008 QUEENSBURY ROAD
RIVERDALE, MD 20737

DATE: 04/20/2020	DRAWING NO.:
SCALE: AS NOTED	A5
DRAWN BY: DBW	
CHECKED BY: Checker	FWA JOB NUMBER 2191191.00